

Americas Hometenders

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CONFIDENTIAL INSPECTION REPORT

PREPARED FOR:

Home Medium Size Example

INSPECTION ADDRESS

36 Shadow Ranch, La Mesa , CA

INSPECTION DATE

11/21/2009 2:00 pm to 5:30 pm

REPRESENTED BY:

Realtor Name
Realty Company



This report is the exclusive property of the Inspection Company and the client whose name appears herewith, and its use by any unauthorized persons is prohibited.

Fences and Gates

- 1.4 - → Portions of this property are not adequately fenced or otherwise enclosed, to provide security for children or animals.

Site Comments

Hillside no unusual movement rec geo tech

- 1.5 - → Even though there did not appear to be any unusual movement in the structure, the structure is on a hillside or stair stepped slope that is recommended to be further evaluated by a geo tech engineer or appropriate specialists for possibly upgrading drainage in ground drains\gutters and to insure there is no unusual soil conditions or structure movement, or verification of a recent geo tech engineer report having been done for the seller and report is available.

Hillside vegetation

- 1.6 - → Hillsides are recommended to be monitored for proper ground cover vegetation and sprinkler systems for the prevention of possible erosion and\ or fire hazard safety.

Grading and Drainage

Flat and Level Pad

- 1.7 - → The structure is situated on a lot with flat level areas to the lot. Flat or cupped areas on a level lot can create standing or ponding water during rains that is recommended to have proper drainage away from the structures to the street or drains. Full gutters and in ground drains are recommended to be installed that deliver the water to the street.

Roof

Attic

Electrical

- 3.1 - √ Open electrical junction boxes or outlets/switches without coverplates within the attic should be checked for improper wiring and properly capped so that any arcing or sparks would be contained within the box.

Spanish Tile

Age and General Evaluation

- 3.2 - → The clay tile roof appears to be the same age as the home and is around 20 years old without any evidence of leaking found at the ceilings or attic. To avoid damaging the tiles, we elected not to walk on the roof, and inspected it instead from within the attic and from a variety of other vantage points using a ladder. There were some broken and sliding tiles noted on the roof, recommend further evaluation and corrections by a roofing specialist.

Chimney-Fireplace

Family Room Chimney

Hearth

- 4.1 - → The fireplace that can burn wood or gas logs does not have a distinguishable hearth, which is mandated by current construction standards, there is tile floor all the way up to the opening of the fireplace firebox, and you may wish to have a specialist comment on this feature for possible installation. Normally a hearth extends 16" to 18" in front of the fireplace and a minimum of 8" to each side.

Plumbing

Potable Water Pipes

Hose Faucets

- 5.1 - ↪ Hose faucets do not all have the recommended anti siphon devices installed, these are a small brass fitting attached to the hose faucet that cost around \$ 5.00 at a hardware store and when attached to the hose faucet keep the hose water from backing up into the potable water supply of the building if the City water system loses pressure.

Gas

Gas Main Shut-Off Location

- 5.2 - ↪ Recommend the gas shut off valve have a wrench located at the shut off valve or a seismic auto shut off valve installed in case of emergency. Some insurance companies are now requiring that an automatic gas shut off gas valve be installed before they will insure you, this should be verified with your insurance company. They cost around \$350 to install. Some City construction jurisdictions require the auto shut off valves when a property is sold, verify with your City or insurance company on requirements before close of escrow. If the wrench only is used, it is recommended that the Gas Company's gas meter valve be verified as easily operated.
- 5.3 - ↪ Gas off to the building at the time of the inspection, recommend that the gas utility company verify that all the gas appliances are functional in the building when the gas is turned on. Recommend that all the faucets for the sinks, laundry, tub/showers be verified as having hot water properly supplied and working. Recommend this be done before the close of escrow.

Water Heaters

Age Capacity and Location

- 5.4 - ↪ The hot water heater was not producing hot water at the time of the inspection and should be serviced. Recommend having the Gas Company light the pilot and verify that the water heater will heat water properly. Recommend all the faucets at sinks, tubs/showers are verified as producing hot water before the close of escrow.

Seismic Straps

- 5.5 - ∨ The water heater has the seismic straps in place but is not properly blocked to the wall to prevent seismic slam during earthquake activity. This is typically a manufacturer's installation instruction requirement and is always recommended by this inspector to prevent possible damage to the water or gas lines during seismic activity. This usually is described in the seismic strap kit by the manufacturer along with wrapping the straps around the water heater to prevent side to side motion, and is usually blocking with wood at each strap location between wall and water heater with one inch of non combustible material between the wood and the water heater if it is not a zero clearance model. Verification of zero clearance models is marked on the water heater.

Vent Pipe and Cap

- 5.6 - ↪ The water heater gas vent pipe penetrates the drywall without the apparent benefit of a transition housing, double wall, b-vent pipe is required to have 1" clearance to combustible material, drywall with paper coating is considered a combustible. Sometimes the metal transition housing is covered by drywall compound and not visible, recommend verifying or clearing a one inch space around the vent pipe. The space around the vent pipe is recommended to be filled with a non combustible material or flange capped with metal.

Gas Shut-Off Valve and Connector

- 5.7 - ∨ The flexible gas feed line to the water heater is stretched to tight which could possibly cause a gas leak during seismic activity, and is recommended be replaced by a plumbing specialist with a longer flex gas pipe.

Electrical

Main Panel

Ceiling fans and recessed lighting

- 6.1 - → Ceiling fans are recommended to be installed with a seven foot minimum clearance to the blades\lights off of the floor. Recommend corrections or upgrades on any ceiling fans that do not meet this requirement.

Heat-A/C

Heat and AC - System 1

Split-System General Evaluation

- 8.1 - → The gas was off to the home and the furnaces were not tested and should be verified as functional before close of escrow.

Furnace

- 8.2 - √ Furnace should be further evaluated by a qualified licensed heating-cooling specialist for possible recall, the unit is a Goettl brand unit that have some of the furnaces on recall by the CPSC, this evaluation should be done before the close of escrow in case the furnace needs to be repaired or replaced. (model # HCC050ND3RX, serial # 89090820)
- 8.3 - → The clearances around the sides of the furnace in the garage closet have the furnace system closer to closet walls than is normally allowed for installation by manufacturer's instructions, recommend verifying what the manufacturers requirements are for this particular unit and the space required in the closet around the unit to insure it was properly installed. Refer to a qualified HVAC specialist for further evaluation.

Vent Pipe

- 8.4 - → The furnace gas vent pipe penetrates the ceiling drywall without the apparent benefit of a transition housing, double wall, B-vent pipe is required to have 1" clearance to combustible material, drywall is with paper coating is considered a combustible. Sometimes the metal transition housing is covered by drywall compound and not visible, recommend verifying or clearing a one inch space around the vent pipe. Installing a metal cap ring or transitional housing is recommended.

Gas Valve and Connector

- 8.5 - → You should be aware that the gas feed line that passes through the furnace sidewall is flexible, and is required by current codes or manufacturer's requirements to be rigid until it passes beyond the furnace, and then flexible to the point where it connects to the gas valve. This can possibly cause vibration or seismic damage to the thin walled flex gas line. This condition is recommended to be corrected by an HVAC contractor or gas appliance specialist.

Combustion-Air Vents

- 8.6 - → There may be insufficient ventilation in the area of the furnace to support complete combustion, which is not only necessary but without which the circulating air within the residence could become contaminated. This condition should be evaluated and corrected by an HVAC contractor.

Condensate Discharge Pipe

- 8.7 - → The attic AC evaporator coil in the attic has both primary and secondary drain lines in place, however, an auxiliary pan is not in place and is recommended to be installed to help prevent a possible leak under the unit in the attic. Some construction jurisdictions may not require the auxiliary drain pan under the unit at time of construction, however, it is a recommended upgrade to help prevent a possible water spill in the attic that might extend to the ceiling in the home. There were moisture stains around the condensate pipes in the attic.

Condensing Coil

- 8.8 - → The air conditioning\heating system are both cooling, however, they are recommended to be serviced to keep the systems in peak condition, there is rust and debris in the 20 year old units, recommend the AC condensers be cleaned, refrigerant levels checked and the evaporators verified as having the condensation draining properly and with good air flow through the system. This is especially important when the system is over five years old and will keep the system functioning properly when needed during the warmer times of the year. This is normal maintenance recommended at least every two years with the filters changed every couple of months depending on use of the system.

Refrigerant Lines

8.9 - → Refrigerant lines from the AC condenser are not properly sealed where they enter exterior wall and should be sealed to prevent possible rodent entry into the walls\attic of structure.

Filter systems

8.10 - → The filter for the attic HVAC is not properly secured or the correct size and is by passing un filtered air and is recommended to be corrected.

8.11 - → Filters for the forced air system were dirty and are recommended to be replaced.

Older AC refrigerant type

8.12 - → Note: Any air conditioning systems older than 2006 may have an older type of refrigerant that has been considered detrimental to the earth's atmosphere, which is recommended to be upgraded when the system is recharged if possible. Older heating\cooling systems require more electrical energy or gas fuel to operate and are recommended to be considered for upgrading. Insulation or air leakage on ducting\joints and systems are recommended to be upgraded for better efficiency. Recommend having an energy efficiency system check for possible upgrades and corrections by a heating\cooling specialist. Refer to 13 Seer and Title 24 requirements from the U. S. Department of Energy and the California Energy Commission for energy efficiency and environmental requirements.

Electrical Components

8.13 - √ There is improper electrical wiring noted in the hvac-furnace closet that is recommended to be corrected. (romex wire improperly installed into the garage closet HVAC 120 volt electric outlet, recommend corrections by an electrical specialist and a cover plate installed.)

Living

Entry

Front Door

9.1 - → Door stops on some of the doors in the home are missing or damaged and are recommended to be installed to prevent possible wall damage behind the doors.

Family

Lights

9.2 - → The fan-light has does not have the remote to control the ceiling fan and the light would not turn off.

Kitchen

Kitchen

Gas Cook Top

10.1 - → The gas was turned off to the home and the gas stove top could not be tested and is recommended to be verified as working when the gas is on.

Exhaust Fan or Downdraft

10.2 - √ The kitchen exhaust fan responded to the controls. However, the control switch under the cabinet has been improperly installed with electrical connections outside of an electrical junction box. Recommend corrections by an electrical specialist.

Outlets

10.3 - √ A GFCI electric outlet in the kitchen in one of the counter top wall receptacles does not trip when tested and is not functioning properly, recommend replacement by an electrical specialist.

Hallway

Hallway

Smoke detector

11.1 - → Carbon monoxide detectors and fire extinguishers are recommended to be installed even though the local housing authority jurisdiction may not require them.

Bedrooms

Master Bedroom

Lights

13.1 - → Ceiling fan-light in place, however, no remote to test the unit.

Smoke Detectors

13.2 - √ Smoke detector\alarm was missing should be properly installed before close of escrow, even though they may not have been required when the structure were built.

Bedroom 2

Smoke Detectors

13.3 - √ There is no smoke detector\alarm in the bedroom, recommend one be installed, this should be verified before the close of escrow.

Bedroom 3

Lights

13.4 - → The ceiling fan-light in place, however, not tested, remote was not available.

Smoke Detectors

13.5 - √ There is no smoke detector\alarm in the bedroom, recommend one be installed in each bedroom in compliance with manufacturers and local recommendations, this should be verified before the close of escrow.

Bedroom 4

Lights

13.6 - → A ceiling fan-light in place, however, not tested, remote not available.

Smoke Detectors

13.7 - √ There is no smoke detector\alarm in the bedroom, recommend on be installed and verified before the close of escrow.

Bedroom 5

Smoke Detectors

13.8 - √ There is no smoke detector in the bedroom, recommend one be installed per local and State ordinances before the close of escrow.

Bathrooms

Master Bathroom

Toilet

14.1 - → The toilet is blocked, or does not flush adequately, which could indicate a more serious blockage in the main waste line, which should be serviced service as soon as possible.

Hallway Bathroom

Exhaust Fan

14.2 - → The exhaust fan did not respond, and should be serviced.

Jack and Jill Bathroom

Sink Faucet Valves & Connectors Trap & Drain

14.3 - → The right bathroom sink drain is slow or partially blocked and should be serviced, to ensure that the blockage has not progressed beyond the trap and involved the main waste line.

In Bedroom Bathroom 1

Doors

14.4 - → The striker plate on the bathroom door needs to be adjusted to close and lock the door.

Tub-Shower

14.5 - → The tub-shower faucet valve needs new stem washers and should be serviced. The faucet handle valve stem leaks when the faucet is on.

Laundry

Laundry

Laundry components

15.1 - → Recommend that a drain pan under the washing machine be installed to drain to an appropriate location that will help prevent possible moisture damage if the washing machine or hoses leak. The time to install a drain pan is before installing your washer and dryer.

Garage

Garage

Automatic Opener

16.1 - → The garage door auto operator is not adjusted properly or is mal functioning and auto reverses if the button is released, the button has to be held to get the door to close all the way, recommend adjusting beams or repairing operator unit.

Electrical

16.2 - √ The garage is now required to have GFCI protection, the electrical outlets were tested and none were GFCI protected. Recommend further evaluation and corrections/upgrades by an electrical specialist.

16.3 - √ Exposed or taped splices, no junction boxes in some of the wiring in the garage attic is recommended to be corrected.

Sink in the Garage

16.4 - → The garage sink garbage disposal is seized and is recommended to be serviced.

GENERAL INFORMATION

Inspection Address: # 36 Shadow Ranch, La Mesa , CA
Inspection Date: 11/21/2009 Time: 2:00 pm to 5:30 pm

Weather: Clear and Dry - Temperature at time of inspection: 60-70 Degrees

Inspected by: Walt Scartaccini\Ryan Scartaccini\Seth Scartaccini

Client Information: Home Medium Size Example

Buyer's Agent: Realtor Name
Realty Company
Oceanside, CA 92056

Structure Type: Wood Frame
Foundation Type: Slab
Furnished: No
Structure Occupied: No
Number of Stories: Two

Structure Style: Single Family

Estimated Year Built: 1990
Unofficial Sq.Ft.: 3145

People on Site At Time of Inspection: Buyer(s)
Buyer's Agent

General Property Conditions

PLEASE NOTE:

The service recommendations that we make in this report should be completed well before the close of escrow by licensed specialists, who may well identify additional defects or recommend some upgrades that could affect your evaluation of the property.

Report File: HomeMediumSizeExample

SCOPE OF WORK

You have contracted for us to perform a general inspection in accordance with industry standards. It is distinct from a specialist inspection, which can be costly, take several days to complete, involve the use of specialized instruments, the dismantling of equipment, video-scanning, destructive/intrusive testing and laboratory analysis. Our inspection is not a code compliance inspection, although national, state and local codes will be taken into consideration, if a code compliance inspection is required, it is recommended you contact the City construction authority. By contrast, the general inspection is completed on site, at a fraction of the cost and within a few hours by a generalist inspector and not a specialist systems technician such as a licensed electrician or plumber. Consequently, the general inspection and its report will not be as comprehensive as that generated by specialists and is not intended to be. Our purpose is to identify defects or adverse conditions that could result in injury or lead to costs that would significantly affect your evaluation of the property or alert you to the need for a specialist's evaluation. We will evaluate conditions, systems, or components in accordance to the California Real Estate Inspection Association's standards of practice, a copy furnished with the buyer's copy of the report. Which does not mean the systems or the components are necessarily perfect, given the age of the property, but that they are functional or not functional and met the standards at a given point in time. When indicating or recommending items for repair or upgrade, we do not determine whether the buyer or the seller is required to correct that item, we do not know the deal or negotiate the deal for the property. Our job is to disclose the conditions of the property. Similarly, we take into consideration when the property was built and allow for predictable deterioration that would occur through time, such as cracks that appear in concrete and stucco or drywall around doors/windows, scuffed walls or wood work, worn or squeaky floors, and stiff or difficult to operate windows. Therefore, we tend to ignore the insignificant defects, and do not annotate them, and particularly those that would be apparent to a normally prudent person, or to someone without any construction experience, however, some minor defects could be included in the report. We are not authorized, or have the expertise, to comment on termite, asbestos, lead base paint, dry rot, fungus damage, mildew/mold or engineering, but may alert you to evidence seen and recommend further evaluation by a specialist if conditions are found. Regardless, you should schedule any such specialized inspections, such as termite, mold, engineering with the appropriate specialists before the close of escrow. We encourage candid and forthright communication between all parties, because we believe that is the only way to avoid stressful disputes and costly litigation. Remember, we only summarize the report on site and it is essential that you read all of the report, and that any recommendations that we make for service or evaluation by specialists should be completed and documented well before the close of escrow, because additional defects could be re revealed by a specialist, or some upgrades recommended, which could effect your evaluation of the property, and our service does not include any form of warranty or guarantee. NOTE: ANY OBSERVATIONS IN THE REPORT AS TO LEFT OR RIGHT ARE AS VIEWED FROM THE FRONT OF THE BUILDING TO THE BACK OF THE BUILDING. FOR YOUR INFORMATION THE MAIN REPORT PARAGRAPH OR ITEM NUMBERS DO NOT MATCH UP WITH THE REPORT SUMMARY ITEM NUMBERS, ALTHOUGH THE ITEMS OF CONCERN IN THE SUMMARY REPORT ARE DIRECTLY TAKEN FROM THE MAIN REPORT AND ARE IDENTICAL, THEY ARE STAND ALONE REPORTS WITH DIFFERENT LINE NUMBERING.

Narrative Color Legend: – Normal Text ✓ Red text- safety issue or critical issue
m Not used. q Headings.

Exterior

We evaluate the following exterior features: driveways, walkways, fences, gates, handrails, guardrails, yard walls, carports, patio covers, decks, building walls, fascia and trim, balconies, doors, windows, lights, and outlets. However, we do not evaluate any detached structures, such as storage sheds and stables, and we do not water test or evaluate subterranean drainage systems or any mechanical or remotely controlled components, such as driveway gates. Also, we do not typically evaluate landscape components, such as trees, shrubs, fountains, ponds, statuary, pottery, fire pits, patio fans, heat lamps, sprinkler systems and decorative or low-voltage lighting. We will comment on how the sprinkler systems are effecting the property and make recommendations for improvements. Similarly, we do not usually comment on coatings or cosmetic deficiencies and the wear and tear associated with the passage of time, which would be apparent to the average person. However, cracks in hard surfaces, especially disjointed cracks that one side is raised on can imply the presence of expansive soils that can result in continuous movement, that can be caused by tree root movement or soil conditions, but this could only be confirmed by a geological evaluation of the soil. Our observations are limited to visible items at the time of the inspection, we do not move storage, cut shrubs\trees and are not allowed to take apart any components of the structure.

Wall Covering

Type of Material

Informational Conditions

- The exterior walls are clad with stucco.

Wall Covering Observations

Informational Conditions

- The exterior wall cladding did not appear to have any unusual damage or deterioration, refer to the termite inspector for further evaluation.
- There are stress fractures in the stucco on the walls, around the windows and doors that result from movement, and are quite common from seismic activity or settling. Some of the stucco hairline cracks are caused from drying too quickly during construction and were not fogged\sealed by the builder. Most people do not realize that structures move, but they do and sometimes more or less continuously from heat\cooling\ moisture expansion and by seismic movement. Therefore, stress fractures can reappear after they have been repaired, and particularly if they have not been repaired correctly. Recommend the cracks and stucco blemishes be corrected when the building's exterior is painted.
- Recommend any holes or cracks in the exterior envelope of the structure be properly repaired\ sealed to prevent possible moisture or pest intrusion. This includes sealing any cracks or holes that might allow moisture entry into walls around light fixtures, pipes that penetrate walls or eaves with cracks around the wood framing that might allow pest or moisture intrusion.
- Portions of the stucco weep-screed flashing have been improperly installed too close or covered with hardscape. Weep-screed not only allows the house walls to move independent of the foundation and prevents the plate-line cracks or stucco spalling that are commonly seen at the base of many stucco walls but allows any moisture that penetrates the stucco to drain from the stucco walls. It also prevents moisture from wicking up into the stucco from the hardscape\soil area. These conditions can possibly cause moisture penetration into the walls if the vapor barrier is penetrated and possible long term moisture damage or problems. However, the hardscape appeared to slope away from the walls. No evidence was found of moisture intrusion into the inside of the structure in the visible areas along these walls, close monitoring is advised and watching the hardscape during heavy rains to insure proper drainage away from the walls.

Exterior Features

General Comments and Description

Informational Conditions

- It is important to maintain a property, including sealing walkways, driveways, decks, and other hard surfaces, and it is particularly important to keep the structure's walls sealed with holes and cracks properly patched and sealed, which provide the only barrier against deterioration. Unsealed cracks around, plumbing/electrical wall penetrations, windows, doors, and thresholds can permit moisture intrusion that may penetrate the vapor barrier beneath the wall cladding, which is the principle cause of the deterioration of any surface. Unfortunately, the evidence of such intrusion may only be obvious when it is raining or with intrusive testing. We have discovered leaking windows and doors while it was raining that may not have been apparent otherwise.

Driveways

Informational Conditions

- The driveway did not have any unusual displacement or cracks.

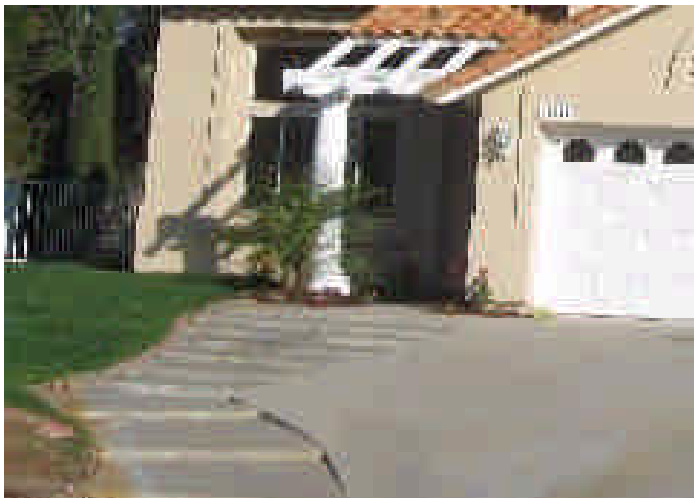
Walkways

Informational Conditions

- Some of the sidewalk area is installed close or over the stucco weep screed flashing, however, the sidewalk appears to slope away from the walls and the foundation and no evidence of moisture intrusion was found at the time of the inspection, this is improper installation and can possibly cause moisture intrusion, recommend monitoring these areas during heavy rains to insure the drainage is proper and that no moisture intrusion occurs.

Components and Conditions Needing Service

- There are offsets or irregular elevations in the walkways at the front entry from the street that could prove to be trip-hazards that you may want to mark with yellow paint for better visibility. Some rust staining on the sidewalk in this area that is recommended to be cleaned.



Fascia and Trim

Informational Conditions

- The fascia board and trim did not have any apparent damage, refer to the termite inspector for further evaluation.

Patio

Informational Conditions

- Patio masonry pad does not appear to have any unusual displacement or cracking, it appears to drain away from the foundation, this should be verified during heavy rains.

Patio masonry pad does not appear to have any unusual displacement or cracking - *Continued*



- The patio concrete has been improperly installed close or over the stucco weep screed flashing, it does appear to have slope directing water away from the walls and no evidence of moisture intrusion was found at the time of the inspection, however, moisture intrusion will remain a possibility, monitoring for moisture intrusion is recommended and particularly during rainy weather to verify no moisture intrusion is occurring.



Lights

Informational Conditions

- The lights outside the doors of the residence are functional. However, we do not inspect or evaluate decorative\Malibu lights.
- We do not evaluate low-voltage or decorative lights, such as Malibu lights, which you may wish to have the sellers demonstrate.

Outlets

Informational Conditions

- The exterior electric outlets that were tested are functional and include ground-fault protection.
- The exterior electrical outlets that are in permanent use are recommended to have the full cap plastic dome weather covers installed as an upgrade.

Doors

Informational Conditions

- Recommend exterior doors locks be re keyed for security before moving in. Recommend all exterior doors have normal maintenance done to verify that the weather seals are sealing properly and that the thresholds are keeping moisture from entering the doors.
- The exterior doors need typical maintenance-type service, recommend checking/adjusting the weather stripping, lubricating the hardware, sealing the thresholds, and bottom corners of the frames to prevent possible moisture intrusion and damage.

Sliding Glass Doors

Informational Conditions

- The sliding glass door has dual pane tempered safety glass is opening and closing properly. Recommend normal maintenance, cleaning the tracks and sealing the bottom corners against possible moisture intrusion. Adjusting/lubricating the locks and the rollers to function more easily. No evidence of moisture intrusion found on the inside of the door at time of the inspection.

Components and Conditions Needing Service

- Sliding glass patio door screen is missing or not in place, recommend correction.

Windows

Informational Conditions

- Windows require maintenance to keep them sealed to prevent moisture intrusion and operational if an operating window. Fixed metal or wood windows require regular inspection to insure the exterior frames are not losing their exterior stop seal caused by weathering. Wood frames require regular paint and caulking. Metal framed windows usually have a vinyl gasket or caulk seal that should be monitored. Operating windows have bottom tracks that many have weep holes that are required to drain out any exterior moisture that gets into them and should be cleaned periodically. Window glass in or windows within 24" to the side of doors and 48" on commercial buildings are now required to have safety glass labeled at a corner with acid etched logo indicating safety glass and if not in place are recommended to be investigated for upgrading. This goes for windows at staircases, in bathrooms next to tub and showers or windows that extend closer than 18" off the floor that can possibly be walked through like a patio door or window next to a patio door. Upstairs windows or windows that are close to furniture that a small child might fall through and be injured in the fall should be protected. However, when there are bedrooms with only one egress door for fire escape are required to have an operating window large enough to crawl out of or a fireman crawl in, usually a minimum of 20" wide and 24" in height and inside floor to window opening not higher than 44" to the bottom sill opening with a minimum square footage opening of 5.7 square feet or 5.0 square feet at ground grade. The egress window in a bedroom cannot be blocked with iron grates that do not operate from the inside. Windows are potential moisture intrusion locations and should be regularly inspected and many times cannot be thoroughly inspected on the inside of the structure by the inspector due to furniture or storage and are recommended to be further investigated for stains, damage and operation when the structure is vacant.
- The dual pane aluminum frame type windows are generally opening and closing properly. Recommend normal maintenance on the windows, cleaning the tracks, sealing the bottom corners, adjusting locks as needed and lubricating for easy operation.
- When the upstairs operating windows are close to the floor level or furniture is close to the windows, although the windows maybe over 18" off the walking surface and meet construction requirements they can be a child fall out safety issue when open and you may want to consider extra protection for small children that may push on the screens. Remember when installing this extra protection, if in a bedroom, fire egress is required to be maintained.

Screens

Components and Conditions Needing Service

- Many of the window screens are damaged and not on any of the home's windows, and you may wish to have them replaced.

Fences and Gates

Components and Conditions Needing Service

- Portions of this property are not adequately fenced or otherwise enclosed, to provide security for children or animals.

Portions of the property are not fenced to provide security for children or animals - *Continued*



Site Comments

Occupied home

Informational Conditions

- Home was vacant at time of the inspection.

Hillside no unusual movement rec geo tech

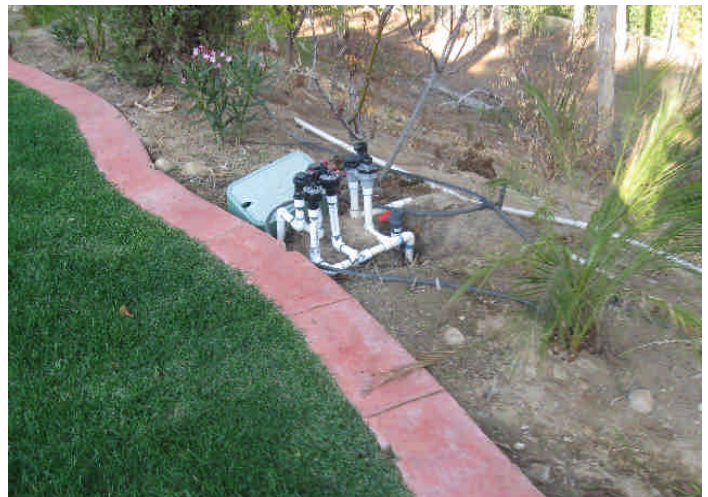
Components and Conditions Needing Service

- Even though there did not appear to be any unusual movement in the structure, the structure is on a hillside or stair stepped slope that is recommended to be further evaluated by a geo tech engineer or appropriate specialists for possibly upgrading drainage in ground drains\gutters and to insure there is no unusual soil conditions or structure movement, or verification of a recent geo tech engineer report having been done for the seller and report is available.

Hillside vegetation

Components and Conditions Needing Service

- Hillside are recommended to be monitored for proper ground cover vegetation and sprinkler systems for the prevention of possible erosion and\ or fire hazard safety.



Hillsides are recommended to be monitored for proper vegetation and sprinkler systems - *Continued*



Grading and Drainage

General Comments and Description

Informational Conditions

- The ideal property will have soils and hardscape that slope away from the structure and the interior floors will be several inches higher than the exterior grade. The structures are recommended have roof gutters and downspouts that discharge into area drains with catch basins that carry water away to hard surfaces and proper drainage away from the structure and property. If a property does not meet this ideal, or if any portion of the interior floor is below the exterior grade, or there are planters installed against the structures, there is a potential for moisture damage even though there may not be any evidence of moisture intrusion. Recommend any structure with planters or elevations of floor below or even with grade to be further investigated for possible corrections and upgrades.

Moisture Dampness-Moisture Conditions

Informational Conditions

- Moisture is a perennial problem, with which you should be aware. It involves a host of interrelated factors, and can be unpredictable, intermittent, or constant. When moisture intrusion is not self evident, it can be inferred by musty odors, peeling paint or plaster, efflorescence, or salt crystal formations, rust on metal components, and wood rot. However, condensation and humidity can produce similar conditions if the temperature in an area is not maintained above the dew point. Regardless, when there has been water spills, roof leaks or if the interior floors are close to the same elevation or lower than the exterior grade we could not rule out the potential for moisture intrusion and would not endorse any such areas. Nevertheless, if such conditions do exist or are made to exist because of past or present conditions, even if there is no evidence of current problem conditions, you could schedule a specialist such as a qualified mold inspector to laboratory test for conditions that might not be evident.

Flat and Level Pad

Components and Conditions Needing Service

- The structure is situated on a lot with flat level areas to the lot. Flat or cupped areas on a level lot can create standing or ponding water during rains that is recommended to have proper drainage away from the structures to the street or drains. Full gutters and in ground drains are recommended to be installed that deliver the water to the street.

Drainage Mode

Informational Conditions

- Flower or grass beds next to the foundation in some areas around the structure, no evidence of moisture intrusion into the structure was found at these areas at time of inspection, however, these areas should be

monitored to prevent sprinklers spraying walls and the soil levels kept a minimum of 2" recommended 6" below inside slab floor, below the inside floor\slab with good drainage away from the foundation to the street so ponding\standing water will not occur and cause possible moisture intrusion or differential settling along the foundation.

- Drainage is facilitated by hard surfaces and slope that carries water away from the structure, but no in ground drains or roof gutters. Such conditions may be acceptable but are not ideal and some ponding\standing of water may result during heavy rains, and you may wish to have a specialist evaluate for installation of gutters and in ground drains, but we did not see any evidence of moisture contaminating the living space. However, the surface drain areas must be kept clean and verified as draining properly or moisture intrusion could result.

Interior-Exterior Elevations

Informational Conditions

- The interior floors and exterior hardscape are close to the same level, the hardscape slopes away and appears to drain away from the doors and walls. No evidence of moisture intrusion was found inside the structure at these locations, however, moisture intrusion remains a possibility and these areas should be monitored especially during the rainy season.

Bio-organic Growth-Mildew-Mold

Informational Conditions

- A bio-organic growth\mold inspection is recommended on the building even though there maybe no evidence of mold or mildew found. There may have been or are some areas where moisture intrusion or leaks have occurred in the building which might include some bio-organic growth conditions. We do not test for mildew- mold. Only a qualified mold inspector with proper laboratory testing of samples from the structure can verify what types of bio-organic growths maybe in the building or inaccessible areas of the building. There are many types of bio-organic organisms in and outside the structures and normally only a few of these can be problematic or hazardous. Conditions for growth of these organisms is nearly always associated with present or past moisture conditions.

Irrigation

General Comments and Description

Informational Conditions

- There are a wide variety of irrigation components, of which most of the system is buried , our inspection does not include the sprinkler system, and we do not test each component, nor search below vegetation for any concealed hose bibs, actuators, risers, or heads. We do not test sprinkler actuators or evaluate its coverage, and due to the variety and complexity of many automatic control panels we do not test them. The sprinkler valves are under pressure, we look for any evidence of damage or leakage. We recommend that you have the sellers demonstrate an automatic sprinkler system before the close of escrow and indicate any seasonal changes that they may make to the program. We recommend that any sprinklers be adjusted to not spray the structures, sidewalks, fences and driveway. Anti siphon valves should be in place at each sprinkler valve actuator to prevent back flow of water into the structures drinking water supply. Back flow prevention systems that keep structure's water supply from backing up into the utility\City water supply are recommended and some Cities are now requiring them on newer construction or remodels. This is not part of our inspection, however, we recommend you further investigate your City's requirements.

Automatic Polyvinyl Sprinklers

Informational Conditions

- The main front and back of the property, not including the hillside are served by automatic, polyvinyl, sprinklers. The coverage appears to be adequate and, apart from some marginal over spray, they are functional. However, as with all sprinkler systems, the heads will need to be cleaned and adjusted from time to time.

Sprinkler timer location

Informational Conditions

- The sprinkler timer is in the garage.

Hose Bibs

Informational Conditions

- The hose bibs are functional, but we may not have located and tested every one on the property.

Structural

Foundations are not uniform, and conform to the structural standard of the year in which they were built. We identify foundation types and look for any evidence of structural deficiencies. However, cracks or deteriorated surfaces in foundations are quite common. In fact, it would be rare to find a raised foundation wall that was not cracked or deteriorated in some way, or a slab foundation that did not include some cracks concealed beneath the carpeting and padding. Fortunately, most of these cracks are related to the curing process or to common settling, including some wide ones called cold-joint separations that typically contour the footings, but others can be more structurally significant and reveal the presence of expansive soils that can predicate more or less continual movement. We are keenly aware of cracks, and will alert you to their presence if they are clearly visible, most of these will be hidden from view by flooring, wall coverings or furniture. Any such cracks or separations found possibly when the floor cover or other items are removed are recommended to be evaluated and properly sealed or repaired. However, we are not specialists, and in the absence of any major defects, we may not recommend that you consult with a foundation contractor, a structural engineer, or a geologist, but this should not deter you from seeking the opinion of any such expert.

Structural Elements

Wall Structure

Informational Conditions

- The walls are conventionally framed with wooden studs, however, most of the framing is enclosed except for in the attic and not visible.

Floor Structure

Informational Conditions

- The ground floor structure consists of a poured slab that could include reinforcing steel. However, most if not all of the inside flooring concrete slab is not visible due to flooring, no unusual conditions were visible at the time of the inspection.

Ceiling Structure

Informational Conditions

- The ceiling structure consists of engineered joists that are part of a prefabricated truss system.

Roof Structure

Informational Conditions

- The roof structure consists of a prefabricated truss system.

Slab Foundation

General Comments and Description

Informational Conditions

- This structure has a slab foundation. Our inspection of slab foundations conforms to industry standards, which is that of a generalist and not a specialist. We check the visible portion of the stem walls on the outside for any evidence of significant cracks or structural deformation, but we do not move furniture or lift carpeting and padding to look for cracks, and we do not use any of the specialized devices that are used to establish relative elevations and confirm differential movement. Significantly, many slabs are built or move out of level, but the average person may not become aware of this until there is a difference of more than one inch in twenty feet, which most authorities regard as being tolerable.
Many slabs are found to contain cracks when the when the flooring materials are removed, including some that contour the edge and can be quite wide. They typically result from shrinkage, settling or seismic activity and usually have little structural significance. However, there is no absolute standard for evaluating cracks, and those that are less than 1/4" and which exhibit no significant vertical or horizontal displacement are

generally not regarded as being significant. They typically result from common shrinkage, but can also be caused by a deficient mixture of concrete, deterioration through time, seismic activity, adverse soil conditions, and poor drainage, and if they are not sealed they can allow moisture to enter a residence, and particularly if it is surcharged by a hill or slope, or if gutter downspouts or sprinklers discharge adjacent to the slab. However, in the absence of any major defects, we may not recommend that you consult with a foundation contractor, a structural engineer, or a geologist, but this should not deter you from seeking the opinion of any such expert.

Method of Evaluation

Informational Conditions

- We evaluated the slab foundation on the exterior, by examining the stem walls that project above the footing and around the perimeter of the structure. Also by viewing the visible sections of the interior flooring to determine if there is any uneven or displaced areas noticeable through the floor coverings. Doors and windows are observed to see if they have frames out of square.

Slab Foundation Observations

Informational Conditions

- The structure appears to have a bolted, slab foundation with no unusual or significant abnormalities that are visible other than the common place cracks found in concrete. However, the floor and wall coverings do not allow the inspector to view what is below the floor coverings/walls. Typically there will be some cracks in the slab concrete foundation under the structure, however, they did not show through the floor coverings.

Roof

There are many different roof types, which we evaluate by walking on their surfaces unless they are concrete\clay\composite tiles or metal roofs due to possible damage of these roof. If we are unable or unwilling to do this for any reason, we will indicate the method that was used to evaluate them. Every roof will wear differently relative to its age, the number of its layers, the quality of its material, the method of its application, its exposure to direct sunlight or other prevalent weather conditions, and its maintenance. Regardless of its design-life, every roof is only as good as the waterproof membrane beneath it, which is concealed and cannot be examined without removing the roof material, and this is equally true of almost all roofs. In fact, the material on the majority of pitched roofs is not designed to be waterproof only water-resistant. However, what remains true of all roofs is that, whereas their condition can be evaluated, it is virtually impossible for anyone to detect a leak except as it is occurring or by specific water tests, which are beyond the scope of our service. Even water stains on ceilings, or on the framing within attics, will not necessarily confirm an active leak without some corroborative evidence, and such evidence can be deliberately concealed. Consequently, only the installer can credibly guarantee that a roof will not leak, and they do. We evaluate every roof conscientiously, and even attempt to approximate its age, but we will not predict its remaining life expectancy, or guarantee that it will not leak. Naturally, the sellers or the occupants of a residence will generally have the most intimate knowledge of the roof and of its history. Therefore, we recommend that you ask the sellers about it, and that you either include comprehensive roof coverage in your home insurance policy, or that you obtain a roof certification from an established local roofing company. Our inspection does not include a warranty on the roof.

Attic

General Comments and Description

Informational Conditions

- In accordance with industry standards, we will not enter attic areas that have less than thirty-six inches of headroom, are restricted by ducts, or in which the insulation obscures the joists and thereby makes mobility hazardous, in which case we would inspect them as best we can from the access point or open areas in the attic. In evaluating the type and amount of insulation on the attic floor, we use generic terms and approximate measurements, and do not sample or test the material for specific identification. Also, we do not move or disturb any portion of the insulation, which may well obscure water pipes, electrical conduits, junction boxes, exhaust fans, and other components. Not all areas of the attic have been accessed.

Access

Informational Conditions

- The attic can be accessed through a hatch in the upstairs hallway ceiling.

Framing

Informational Conditions

- The roof framing consists of a factory- built truss system, comprised of components called chords, webs, and struts that are connected by wood or metal gussets nailed or glued in place. Each component of the truss is designed for a specific purpose, and cannot be removed or modified without compromising the integrity of the entire strut. The lowest component, which is called the chord and to which the ceiling is attached, can move by thermal expansion and contraction and cause creaking sounds, which are more pronounced in the mornings and evenings along with temperature changes. Such movement has no structural significance, but can result in small cracks or divots in the drywall or plaster. No unusual movement or damage was found on the visible portions of the truss system at time of the inspection.



Ventilation

Informational Conditions

- Ventilation within the attic is provided by a combination of eave, dormer, turbine, or gable vents, and should be adequate.

Electrical

Informational Conditions

- Note: When the attic insulation is closer to the recessed light components than is commonly recommended. Some recessed lights are designed to cool by convection, and insulation is typically recommended to be a minimum of three inches away. The inspector does not remove insulation and verify whether the recessed lighting is rated to be covered or not, when recessed lights are in place they are recommend to be further investigated.
- Note: When ceiling fans are installed, especially where they have been added and possibly where a light had been, it is recommended they be further investigated to insure there is adequate anchoring and proper electrical wiring was installed.

Components and Conditions Needing Service

- ✓ Open electrical junction boxes or outlets/switches without coverplates within the attic should be checked for improper wiring and properly capped so that any arcing or sparks would be contained within the box.

Open electrical junction boxes within the attic should be checked and capped - *Continued*



Plumbing Vents

Informational Conditions

- The visible plumbing vents found had no apparent damage at time of the inspection.

Batt Insulation

Functional Components and Conditions

- The attic floor is well insulated with approximately nine-inches of fiberglass, batt insulation.



Heating-Cooling ducts in attic

Informational Conditions

- The visible heating-cooling ducts in the attic did not appear to have any damage at time of the inspection.

The visible heating-cooling ducts in attic did not appear to have any damage at time of the inspection - *Continued*



Heat Vents

Informational Conditions

- The heat vents within the attic appear to be functional with visible vents installed properly away from combustibles.

Spanish Tile

General Comments and Description

Informational Conditions

- There are several types of authentic Spanish\Clay tile, all of which are made of clay and are easily broken. Like most inspectors, we elect not to walk on them but view them instead from a variety of vantage points using a ladder and binoculars. This type of roof is designed to last 40 to 60 years or more with good maintenance. They can be installed in different ways, using various fasteners and mortar, over one or more waterproof membranes of varying weights. Sometimes the tiles appear to be careless installed, or randomly layered and irregularly placed, but this is characteristic of a classic Spanish tile roof. As with other pitched roofs, they are not designed to be waterproof only water-resistant, and are dependant on the integrity of the membrane beneath them, which is concealed, but which can be split by movement, or deteriorated through time and ultra-violet contamination. These roofs can leak, and sometimes without there being any obvious damage to the tiles, and particularly if damaged tiles have been replaced over a damaged membrane. However, the most common form of leakage occurs when the valleys or other drainage channels become blocked by debris, which causes water to back up and be directed under the flashing. Therefore, it is important to inspect these roofs annually and to have them cleaned. Our inspection is a non intrusive inspection that is not a warranty against leaking, if a warranty is needed, it is recommended that you have a qualified roofer evaluate and certify \warranty for leaking.

Method of Evaluation

Informational Conditions

- We were unable to safely access the roof, and evaluated it either from within the attic, at second story windows or from several vantage points with binoculars and a ladder.

Age and General Evaluation

Components and Conditions Needing Service

- The clay tile roof appears to be the same age as the home and is around 20 years old without any evidence of leaking found at the ceilings or attic. To avoid damaging the tiles, we elected not to walk on the roof, and inspected it instead from within the attic and from a variety of other vantage points using a ladder. There were some broken and sliding tiles noted on the roof, recommend further evaluation and corrections by a roofing specialist.

The clay tile roof appears to be the same age as the home - *Continued*



Chimney-Fireplace

There are a wide variety of chimneys, which represent an even wider variety of the interrelated components that comprise them. However, there are three basic types, single-walled metal, masonry, and pre-fabricated metal ones that are commonly referred to as factory-built ones. Single-walled metal ones should not be confused with factory-built metal ones, and are rarely found in residential use, but masonry and factory-built ones are a commonplace. Our inspection of them is that of a generalist and not a specialist. However, significant areas of chimney flues cannot be adequately viewed during a field inspection, as has been documented by the Chimney Safety Institute of America, which reported in 1992: "The inner reaches of a flue are relatively inaccessible, and it should not be expected that the distant oblique view from the top or bottom is adequate to fully document damage even with a strong light." Therefore, because our inspection of chimneys is limited to those areas that can be viewed without dismantling any portion of them, and does not include the use of specialized equipment, we will not guarantee their integrity or drafting ability and recommend that they be video-scanned before the close of escrow.

Living Room Chimney

General Prefabricated Chimney Comments

Informational Conditions

- There are a wide variety of pre-fabricated chimneys, which are constructed on site with approved components. We perform a competent inspection of them, but we are not specialists, and our inspection of them is limited to those areas that can be viewed without dismantling any portion of them, and we cannot guarantee that any particular component is the one stipulated for use by the manufacturer.

Chimney Stack or Walls

Informational Conditions

- The chimney exterior walls did not appear to have any unusual damage or displacement.

Weather Cap

Informational Conditions

- The weather cap on the chimney is in acceptable condition.

Spark Arrestor

Informational Conditions

- A spark arrestor housing is in place on the chimney.



Chimney Flue

Informational Conditions

- The portions of the flue that are visible did not appear to have any unusual damage.

Fireplace

Informational Conditions

- The fireplace did not appear to have any unusual displacement or damage, clearance to combustibles appeared adequate on visible portions of the fireplace, the hearth was in place.



- Gas pipe is installed into the fireplace with a wall valve outside the fireplace, however, gas pipe was capped at the fireplace, but was obviously not tested.

Damper

Informational Conditions

- The damper is opening and closing.

Glass Doors

Informational Conditions

- The fireplace glass doors and screens are functional.

Hearth

Informational Conditions

- The hearth was in place and did not have any unusual damage.

Bedroom Chimney

General Prefabricated Chimney Comments

Informational Conditions

- There are a wide variety of pre-fabricated chimneys-fireplaces, which are constructed on site with approved components. We perform a competent inspection of them, but we are not specialists, and our inspection of them is limited to those areas that can be viewed without dismantling any portion of them, and we cannot guarantee that any particular component is the one stipulated for use by the manufacturer.

Chimney Stack or Walls

Informational Conditions

- The chimney walls appear to be in acceptable condition.

Weather Cap

Informational Conditions

- The weather cap on the chimney is in acceptable condition.

Spark Arrestor

Informational Conditions

- A functional spark arrestor is in place on the chimney.

A functional spark arrestor is in place on the chimney - *Continued*



Chimney Flue

Informational Conditions

- The portions of the flue that are visible appear to be in acceptable condition.

Fireplace

Informational Conditions

- The fireplace did not appear to have any unusual displacement or damage, clearance to combustibles appeared adequate on visible portions of the fireplace, the hearth was in place.
- Gas is in and capped at the fireplace, but was obviously not tested.

Damper

Informational Conditions

- The damper is functional.

Glass Doors

Informational Conditions

- The fireplace glass doors\screens are functional.

Hearth

Informational Conditions

- The hearth is in acceptable condition.

Family Room Chimney

General Prefabricated Chimney Comments

Informational Conditions

- There are a wide variety of pre-fabricated chimneys, which are constructed on site with approved components. We perform a competent inspection of them, but we are not specialists, and our inspection of them is limited to those areas that can be viewed without dismantling any portion of them, and we cannot guarantee that any particular component is the one stipulated for use by the manufacturer. For instance, experience has taught us that many prefabricated chimneys have been fitted with architectural shrouds that are not approved by the manufacturer, and which can inhibit drafting and convectional cooling. Therefore, you may wish to have a specialist evaluate the chimney before the close of escrow.

Chimney Stack or Walls

Informational Conditions

- The chimney walls did not appear to have any unusual damage or cracking.

Weather Cap

Informational Conditions

- The weather cap on the chimney is in acceptable condition.

Spark Arrestor

Informational Conditions

- A spark arrestor is in place on the chimney.

Chimney Flue

Informational Conditions

- The portions of the flue that are visible appear to be in acceptable condition.

Fireplace

Informational Conditions

- The fireplace did not appear to have any unusual cracking or damage, the clearance to combustibles appeared to be appropriate.



- Gas is in and capped at the fireplace, but was obviously not tested.

Damper

Informational Conditions

- The damper is functional.

Glass Doors

Informational Conditions

- The fireplace glass doors and screens are in place without any unusual damage.

Hearth

Components and Conditions Needing Service

- The fireplace that can burn wood or gas logs does not have a distinguishable hearth, which is mandated by current construction standards, there is tile floor all the way up to the opening of the fireplace firebox, and you may wish to have a specialist comment on this feature for possible installation. Normally a hearth extends 16" to 18" in front of the fireplace and a minimum of 8" to each side.

Plumbing

Plumbing systems have common components, but they are not uniform. In addition to fixtures, these components include gas pipes, potable water pipes, drain and vent pipes, shut-off valves, which we do not test if they are not in daily use, pressure regulators, pressure relief valves, and water-heating devices. Normally the best and most dependable water pipes are copper, because they are not subject to the degree build-up of minerals that bond within galvanized pipes, and gradually restrict their inner diameter and reduce water volume. Water softeners can remove most of these minerals, but not once they are bonded within the

pipes, for which the usual remedy is a re-pipe. The water pressure within pipes is commonly confused with water volume, but whereas high water volume is good high water pressure is not. In fact, whenever the street pressure exceeds eighty pounds per square inch a regulator is recommended, which typically comes factory preset between forty-five and sixty-five pounds per square inch. However, regardless of the pressure, leaks will occur in any system, and particularly in one with older galvanized pipes, or one in which the regulator fails and high pressure begins to stress the washers and diaphragms within the various components. Individual shut off valves are installed at sinks, toilets, water heater water supply and other appliances, the older type gate type valves may seize or leak when operated after a few years of service and are not tested by the inspector, these are recommended to be replaced with a newer ball type valve, this is especially true of the main water supply shut off valve. Water filter or softeners are not part of this inspection and will only be checked for evidence of leaking, recommend getting service information from the seller. A back flow preventer is recommended to be installed if not already in place on the water supply system to prevent back flow of water into the City's water supply if the City's system loses water pressure, typically these are not installed on older properties. Most of the piping systems are not visible, are under ground in walls or locations not readily accessible. The inspector does not test water or gas meters or does pressure\ timed tests on water and gas systems which are not part of this inspection. On older properties it is encouraged that further pressure\ timed testing be done on gas systems and water systems. Recommend older properties have the sewer drains video scanned for root and crush damage that might not show up with full functional flow testing where the inspector will run all the water fixtures.

Waste and drainpipes pipes are equally varied, and range from modern acrylonitrile butadiene styrene (ABS) ones to older ones made of cast-iron, galvanized steel, clay, or a cardboard-like material that is coated with tar. The condition of these pipes is usually directly related to their age. Older ones are subject to damage through decay and root movement, whereas the more modern ABS ones are virtually impervious to this type of damage, although isolated batches of them have been alleged to be defective. However, inasmuch as significant portions of drainpipes are concealed, we can only infer their condition by observing the draw at drains. Nonetheless, blockages will occur in the life of any system, but blockages in drainpipes, and particularly in main drainpipes, which we recommend having video-scanned. This could also confirm that the house is connected to the public sewer system, which is important because all private systems (septic tanks) must be evaluated by specialists before the close of escrow. The drain clean outs are difficult to locate in many of the older properties due to build up of grass or vegetation and are many times covered over, sometimes older properties do not have these clean outs installed in an exterior location. Recommend establishing the location for these or be prepared to have a toilet removed for drain clog servicing if a clog occurs. The inspector does not fill sinks or tubs(if applicable) and test for over flow function, if a tub or sink does not have an over flow, they are recommended to be installed to prevent a possible over flow spill.

Potable Water Pipes

Type of Material

Informational Conditions

- The visible water supply piped areas of the building are served by copper potable water pipes.

Water Main Location

Informational Conditions

- Water main shut off is a newer style ball valve.
- Water pressure is within normal operating range between 40 and 80 psi.
- The main water shut-off valve is located inside the garage.

The main water shut-off valve is located inside the garage - *Continued*



Copper Water Pipes

Informational Conditions

- The potable water pipes did not appear to have any evidence of leaking around or in the building. Water meter testing is not part of this inspection.

Pressure Regulator

Informational Conditions

- An adjustable water pressure regulator is in place on the plumbing system. Pressure regulators can normally be adjusted by turning the bolt clockwise for increasing the pressure and counter clockwise for decreasing the pressure, recommend not adjusting the pressure over 80 psi.



Water softner-filtration system

Informational Conditions

- A reverse osmosis water filtration system has been installed under the garage sink, this is not part of the inspection and is checked for leaking conditions only. It appeared to be producing water at the kitchen sink faucet. Recommend getting service information from the seller or the manufacturer to properly take care of the system and whether is leased or stays with the property.

Hose Faucets

Components and Conditions Needing Service

- Hose faucets do not all have the recommended anti siphon devices installed, these are a small brass fitting attached to the hose faucet that cost around \$ 5.00 at a hardware store and when attached to the hose faucet keep the hose water from backing up into the potable water supply of the building if the City water system loses pressure.

Waste and Drainage System

General Comments and Description

Informational Conditions

- We attempt to evaluate drain pipes by flushing every drain that has an active fixture while observing its draw and watching for blockages or slow drains, but this is not a conclusive test and only a video-scan of the main line would confirm its actual condition. However, you can be sure that blockages will occur, usually relative in severity to the age of the system, and will range from minor ones in the branch lines, or at the traps beneath sinks, tubs, and showers, to major blockages in the main line. The minor ones are easily cleared, either by chemical means or by removing and cleaning the traps. We recommend that you ask the sellers if they have ever experienced any drainage problems, or you may wish to have the main waste line video-scanned before the close of escrow, especially if the building is older.

Type of Material

Informational Conditions

- The building is served by ABS drain waste and vent pipes.

Drain Pipes Waste Pipes and Vent Pipes

Informational Conditions

- Based on industry recommended water tests, the main drainpipes were draining and not clogging. All were draining when water from fixtures was turned on in each bathroom\kitchen and tested at the time of the inspection. However, only a video-scan of the main drainpipe would confirm its actual condition. (see notes on one sink and the master bathroom toilet)
- Over flow drains in the sinks and tubs are not fill tested to verify whether they are functional or not. Recommend these be tested to verify whether they will function when the tub or sink is filled to over flowing.

Gas

Gas Main Shut-Off Location

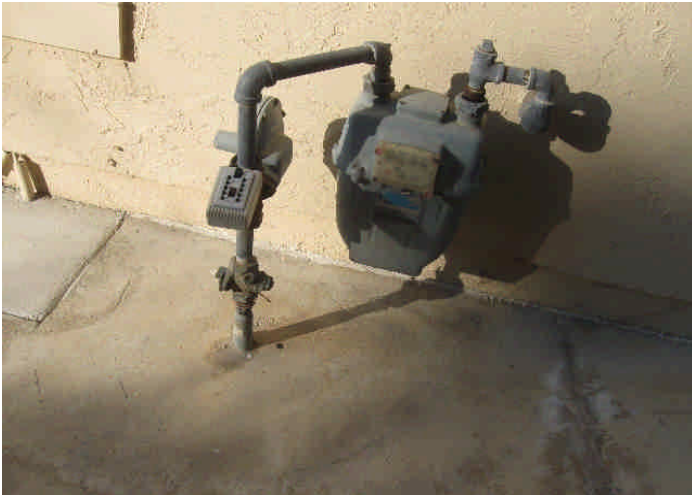
Informational Conditions

- The gas main shut-off is located in the side yard.

Components and Conditions Needing Service

- Recommend the gas shut off valve have a wrench located at the shut off valve or a seismic auto shut off valve installed in case of emergency. Some insurance companies are now requiring that an automatic gas shut off gas valve be installed before they will insure you, this should be verified with your insurance company. They cost around \$350 to install. Some City construction jurisdictions require the auto shut off valves when a property is sold, verify with your City or insurance company on requirements before close of escrow. If the wrench only is used, it is recommended that the Gas Company's gas meter valve be verified as easily operated.

Recommend the gas shut off valve have a wrench attached or a seismic auto shut off valve installed - *Continued*



- Gas off to the building at the time of the inspection, recommend that the gas utility company verify that all the gas appliances are functional in the building when the gas is turned on. Recommend that all the faucets for the sinks, laundry, tub/showers be verified as having hot water properly supplied and working. Recommend this be done before the close of escrow.

Water Heaters

General Gas Water Heater Comments

Informational Conditions

- Water heaters can be expected to last at least as long as their warranty, or from five to fifteen years. However, few of them last longer than fifteen or twenty years and many eventually leak. So it is always wise to have them installed over a drain pan, and preferably one plumbed to the exterior. The water temperature should be set at a minimum of 110 degrees Fahrenheit to kill microbes and a maximum of 140 degrees to prevent scalding. Also, water heaters can be dangerous if they are not seismically secured and equipped with either a pressure/temperature relief valve and discharge pipe plumbed preferably to a safe exterior location to prevent possible moisture damage, or an alternate to the TPR valve, a Watts 210 gas shut-off valve. Water heaters are required by California State Law to be properly seismically strapped since 1996 by a State approved method and approved strap kit properly installed, this includes the manufacturer's requirements on most approved kits to be properly blocked to the wall with straps wrapped around the water heater to prevent side to side movement and possible damage to gas, electric or water lines. The water heater is recommended to be drain faucet flushed with a hose to a safe exterior location at least once a year to eliminate any sediment build up in the bottom of the water heater, remember this is hot water.

Age Capacity and Location

Informational Conditions

- Hot water is provided by an approximately 6 year old, 50 gallon gas water heater that is located in the garage.

The property is served by a gas water heater located in the garage - *Continued*



Components and Conditions Needing Service

- The hot water heater was not producing hot water at the time of the inspection and should be serviced. Recommend having the Gas Company light the pilot and verify that the water heater will heat water properly. Recommend all the faucets at sinks, tubs\showers are verified as producing hot water before the close of escrow.

Seismic Straps

Components and Conditions Needing Service

- ✓ The water heater has the seismic straps in place but is not properly blocked to the wall to prevent seismic slam during earthquake activity. This is typically a manufacturer's installation instruction requirement and is always recommended by this inspector to prevent possible damage to the water or gas lines during seismic activity. This usually is described in the seismic strap kit by the manufacturer along with wrapping the straps around the water heater to prevent side to side motion, and is usually blocking with wood at each strap location between wall and water heater with one inch of non combustible material between the wood and the water heater if it is not a zero clearance model. Verification of zero clearance models is marked on the water heater.



Vent Pipe and Cap

Components and Conditions Needing Service

- The water heater gas vent pipe penetrates the drywall without the apparent benefit of a transition housing, double wall, b-vent pipe is required to have 1" clearance to combustible material, drywall with paper coating is considered a combustible. Sometimes the metal transition housing is covered by drywall compound and not visible, recommend verifying or clearing a one inch space around the vent pipe. The space around the vent pipe is recommended to be filled with a non combustible material or flange capped with metal.



Pressure Release Valve and Discharge Pipe

Informational Conditions

- The water heater TPR valve and down spout pipe are in place and extend to a safe exterior location.

Drip Pan and Overflow Pipe

Informational Conditions

- The water heater is not equipped with a drip pan or overflow pipe that extends to an appropriate exterior location, which is designed to minimize water damage from a leak and is recommended to be installed as an upgrade.

Water Shut-Off Valve and Connectors

Informational Conditions

- The shut-off valve and water connectors on the gas water heaters do not appear to be leaking and have no apparent damage other than some minor corrosion. The valve is not tested due to the potential for leaking at the valve.

Gas Shut-Off Valve and Connector

Informational Conditions

- The gas pipe to the water heater is installed without the benefit of a sediment trap before it enters the water heater burner valve, which is a manufacturer's specification as detailed in most water heater installation manuals, this keeps moisture or debris in the natural gas system from reaching the gas burner valve, a loop in the flex gas line will help perform the same function, however, what is recommended by the manufacturer is a sediment trap that is typically a 1½" steel pipe installed downward with a steel t-fitting immediately before the gas valve to catch debris and moisture in the gas line, recommend upgrade installation to keep debris from possibly clogging the gas valve.

Components and Conditions Needing Service

- ✓ The flexible gas feed line to the water heater is stretched to tight which could possibly cause a gas leak during seismic activity, and is recommended be replaced by a plumbing specialist with a longer flex gas pipe.

Electrical

There are a wide variety of electrical systems with an even greater variety of components, and any one particular system may not conform to current standards or provide the same degree of service and safety. Regardless, we are not specialists and in compliance with industry standards we only test a representative number of switches and outlets, and we do not perform load-calculations to determine if the supply meets the demand. However, we regard every electrical deficiency and recommended upgrade as a potential safety-hazard that should be serviced immediately, and that the entire system be evaluated and certified as safe by a specialist. Therefore, it is essential that any recommendations that we may make for service or upgrades should be completed within the inspection period, or before the close of escrow, because a specialist could reveal additional deficiencies or recommend some upgrades for which we disclaim any responsibility.

Main Panel

General Comments

Informational Conditions

- Common national safety standards require electrical panels to be weatherproof, readily accessible, and have a minimum of thirty inches of clear space in front of them for service. Also, they should have a main disconnect, and each circuit within the panel should be clearly labeled. Industry standards require us to test a representative number of accessible switches, receptacles, and light fixtures in the and around the structure.

Type of Wiring

Informational Conditions

- The residence is wired with a three-wire non-metallic cable commonly known as Romex.

Size and Location

Informational Conditions

- The residence is served by 200 amp, 120\240 volt panel, located in the side yard.

Service Entrance Mast Weatherhead and Cleat

Informational Conditions

- The main conductor lines are underground, or part of a lateral service entrance. This is characteristic of modern electrical services but, inasmuch as the service lines are underground and cannot be seen, they are not evaluated as part of our service.

Main Panel

Informational Conditions

- The main panel and its components have no visible damage. No damaged breakers or wires were found at the time of the inspection.

Exterior Cover Panel

Informational Conditions

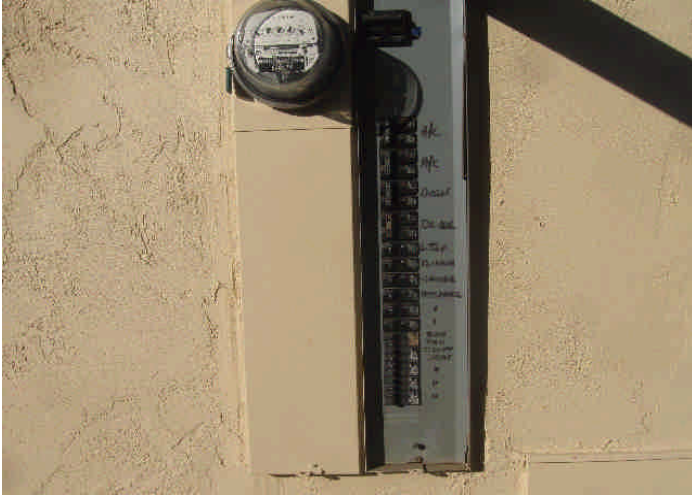
- The exterior cover for the main electrical panel is in acceptable condition.

Interior Cover Panel

Informational Conditions

- The interior cover for the main electrical panel is in acceptable condition.

The interior cover for the main electrical panel is in acceptable condition - *Continued*



Wiring

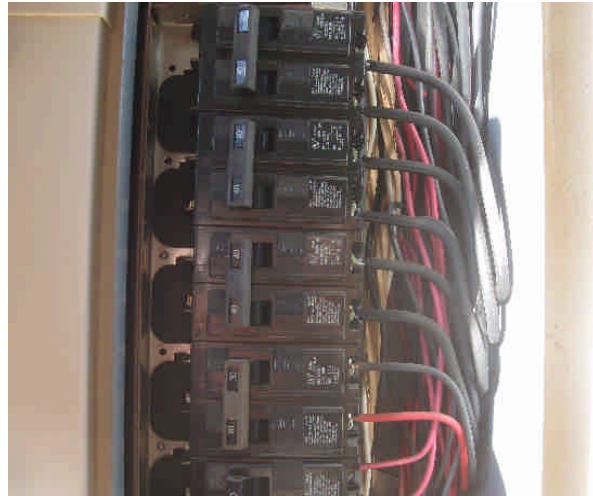
Informational Conditions

- When lights or ceiling fans have metal pull chains, they are recommended to be replaced with non electrically conductive\metallic material such as a cord to prevent possible electric shock.
- When the bathroom and kitchen lights have not been installed with energy conservation light fixtures as currently required in new construction they are recommended to be upgraded.
- It is recommended that no extension cords be permanently used between any electrical devices and the electrical outlets. Or that any electrical devices have cords longer than 6'.

Circuit Breakers

Informational Conditions

- There is no visible damage to the circuit breakers or wires in the main electrical panel.



There is no visible damage with the circuit breakers in the main electrical panel - *Continued*



Grounding

Informational Conditions

- The electric panel is grounded to a water pipe and possibly to a Uffer ground at the structure's steel rebar in the foundation, which was not verified.

Ceiling fans and recessed lighting

Informational Conditions

- Recommend any ceiling fans be further evaluated to insure they are properly support anchored and that they have proper electrical wiring installed. Especially if they have been added after the home was built. The inspector does not remove ceiling bell caps from fans or removes attic insulation to verify mounting for each electric fan or light. When ceiling fans\lights are turned on and off with pull chains or remotes, some construction jurisdictions require wall switches as well and are recommended to be upgraded, even though they may not have been required when the property was built.
- Recessed electric lighting is recommended to be verified as properly installed and if not rated to have insulation installed over the lights to have the lights insulation barrier protected so lights will not over heat. Inspector does not remove insulation in the attic to verify.

Components and Conditions Needing Service

- Ceiling fans are recommended to be installed with a seven foot minimum clearance to the blades\lights off of the floor. Recommend corrections or upgrades on any ceiling fans that do not meet this requirement.

GFCI electrical protection recommended

Informational Conditions

- GFCI electrical protective devices are recommended to be installed or verified as functional. The best time to test for GFCIs is when the property is vacant, a GFCI can protect several additional electric outlets on the same circuit that may control timing devices or items that are not recommended to be turned off when the property is occupied. GFCIs should be installed in all wet area locations, kitchen\sink areas, bathrooms, garage, exterior and in crawlspace, pool\fountain areas or basements if applicable. They are relatively inexpensive to install, cost around thirteen dollars and usually around forty dollars to install. The inspector does not necessarily trip\test the GFCIs when the property is occupied if there is a chance of tripping the electrical power of timers\clocks or other items that would need to be reset.

Heat-A/C

The components of most heating and air-conditioning systems have a design-life ranging from twenty to thirty years, dependant on the climate zone, but can fail prematurely with poor maintenance. We test and evaluate heating and air-conditioning systems in accordance with industry standards, which means that we do not attempt to dismantle any portion of them, or evaluate the following concealed components: the heat exchanger, or firebox, electronic air-cleaners, humidifiers, and in-line duct motors or dampers. You should also be aware that we do not evaluate or endorse any unvented heating devices that utilize fossil fuels, the presence of which sometimes confirms the inadequacy of the primary heating system. However, these and every other fuel burning appliances that are not vented are potentially hazardous. They can include open flames or heated elements, which are capable of igniting any of the myriad flammable materials found in the average home. Also, even the most modern of these appliances can produce carbon monoxide, which in a sealed or poorly ventilated room can result in sickness, debilitating injury, and even death. The heating\cooling ducting systems are verified for air flow, however, are not tested for volume or efficiency, volume of air flow will vary for a variety of reasons including distance from the air handler. Air condition systems are checked for temperature differential close to the air handler with an infrared laser thermometer for a normal reading of around 14 to 16 degrees below room or return air temperature which will possibly be somewhat lower as registers are further away from the air handler system. We perform a conscientious evaluation of heating and air-conditioning systems, but we are not licensed specialists. Therefore, it is imperative that any recommendation that we may make for service or a second opinion be scheduled within the inspection period, or before the close of escrow, because a specialist could reveal additional defects or recommend further upgrades that could affect your evaluation of the property, and our service does not include any form of warranty or guarantee. Heating\cooling systems in homes built in 1978 or before can possibly contain asbestos materials that are known to cause health problems, we do not test for asbestos and only laboratory testing can verify these materials, recommend that a qualified specialist further evaluate and advise you on a home in this age period.

Heat and AC - System 1

Type of Fuel

Informational Conditions

- The building is served by a gas-fueled heating system.

Split-System Age and Location

Informational Conditions

- The central heat and air-conditioning are provided by two split-systems, one for the upstairs and one for the downstairs, consisting of two approximately 20 year-old furnaces with evaporator coils that are located in the attic and garage, and two approximately 20, year-old condensing coils that are located at side yard.

Split-System General Evaluation

Components and Conditions Needing Service

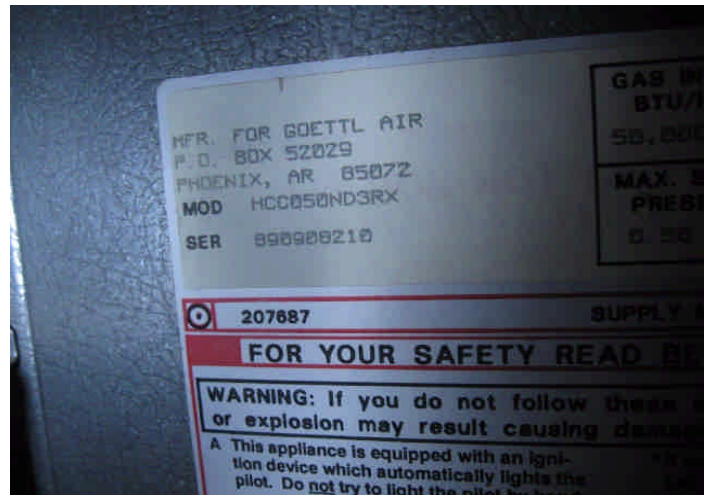
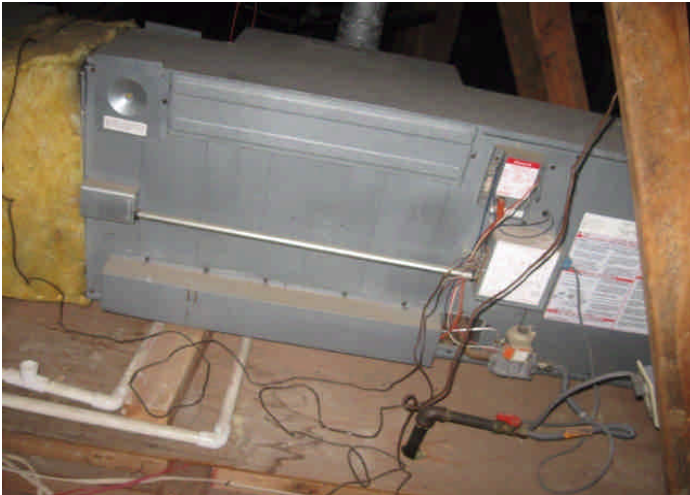
- The gas was off to the home and the furnaces were not tested and should be verified as functional before close of escrow.

Furnace

Components and Conditions Needing Service

- ✓ Furnace should be further evaluated by a qualified licensed heating-cooling specialist for possible recall, the unit is a Goettl brand unit that have some of the furnaces on recall by the CPSC, this evaluation should be done before the close of escrow in case the furnace needs to be repaired or replaced. (model # HCC050ND3RX, serial # 89090820)

Furnace on possible recall - *Continued*



- The clearances around the sides of the furnace in the garage closet have the furnace system closer to closet walls than is normally allowed for installation by manufacturer's instructions, recommend verifying what the manufacturers requirements are for this particular unit and the space required in the closet around the unit to insure it was properly installed. Refer to a qualified HVAC specialist for further evaluation.

The clearances around the sides of the newer furnace in the closet are very close to the walls - *Continued*



Vent Pipe

Components and Conditions Needing Service

- The furnace gas vent pipe penetrates the ceiling drywall without the apparent benefit of a transition housing, double wall, B-vent pipe is required to have 1" clearance to combustible material, drywall is with paper coating is considered a combustible. Sometimes the metal transition housing is covered by drywall compound and not visible, recommend verifying or clearing a one inch space around the vent pipe. Installing a metal cap ring or transitional housing is recommended.



Gas Valve and Connector

Components and Conditions Needing Service

- You should be aware that the gas feed line that passes through the furnace sidewall is flexible, and is required by current codes or manufacturer's requirements to be rigid until it passes beyond the furnace, and then flexible to the point where it connects to the gas valve. This can possibly cause vibration or seismic damage to the thin walled flex gas line. This condition is recommended to be corrected by an HVAC contractor or gas appliance specialist.

The gas feed line that passes through the furnace sidewall is flexible and should be rigid - *Continued*



Combustion-Air Vents

Components and Conditions Needing Service

- There may be insufficient ventilation in the area of the furnace to support complete combustion, which is not only necessary but without which the circulating air within the residence could become contaminated. This condition should be evaluated and corrected by an HVAC contractor.

Evaporator Coil

Informational Conditions

- The AC evaporator coil is producing cool air when turned on. Temperature differential was in an acceptable range of around 14 to 16 degrees. Both the upstairs unit and the downstairs unit.

Condensate Discharge Pipe

Informational Conditions

- The downstairs hvac evaporator unit discharges the condensation water to a sink drain pipe.

Components and Conditions Needing Service

- The attic AC evaporator coil in the attic has both primary and secondary drain lines in place, however, an auxiliary pan is not in place and is recommended to be installed to help prevent a possible leak under the unit in the attic. Some construction jurisdictions may not require the auxiliary drain pan under the unit at time of construction, however, it is a recommended upgrade to help prevent a possible water spill in the attic that might extend to the ceiling in the home. There were moisture stains around the condensate pipes in the attic.

Auxiliary drain pan not in place however there are primary and secondary drain pipes in place - *Continued*



Condensing Coil

Informational Conditions

- Recommend strapping the AC condenser to the base pad to prevent accidental movement that might damage the refrigerant or electrical power lines.

Components and Conditions Needing Service

- The air conditioning/heating system are both cooling, however, they are recommended to be serviced to keep the systems in peak condition, there is rust and debris in the 20 year old units, recommend the AC condensers be cleaned, refrigerant levels checked and the evaporators verified as having the condensation draining properly and with good air flow through the system. This is especially important when the system is over five years old and will keep the system functioning properly when needed during the warmer times of the year. This is normal maintenance recommended at least every two years with the filters changed every couple of months depending on use of the system.



Refrigerant Lines

Components and Conditions Needing Service

- Refrigerant lines from the AC condenser are not properly sealed where they enter exterior wall and should be sealed to prevent possible rodent entry into the walls\attic of structure.

Refrigerant lines from the AC condenser are not properly sealed where they enter exterior wall - *Continued*



Service Disconnect at the Coil

Informational Conditions

- The electrical disconnect at the condensing coil did not appear to have any damage and was near the unit.

Registers

Informational Conditions

- Ducting for the heating-cooling system are producing air at each register-some more than others, depending on how far away the air handler is from the location of the register. Not all ducting in walls and attic are visible to determine if there any loose or restricted ducts. Volume measurements of air flow are not part of this inspection.

Flexible Ducts

Informational Conditions

- The visible supply ducts are a modern, flexible type, comprised of a dark-gray, foil or black, plastic, outer sleeve and a clear inner liner that encapsulates fiberglass insulation, and did not have any visible damage.



Filter systems

Components and Conditions Needing Service

- The filter for the attic HVAC is not properly secured or the correct size and is by passing un filtered air and is

recommended to be corrected.



- Filters for the forced air system were dirty and are recommended to be replaced.

Older AC refrigerant type

Components and Conditions Needing Service

- Note: Any air conditioning systems older than 2006 may have an older type of refrigerant that has been considered detrimental to the earth's atmosphere, which is recommended to be upgraded when the system is recharged if possible. Older heating\cooling systems require more electrical energy or gas fuel to operate and are recommended to be considered for upgrading. Insulation or air leakage on ducting\joints and systems are recommended to be upgraded for better efficiency. Recommend having an energy efficiency system check for possible upgrades and corrections by a heating\cooling specialist. Refer to 13 Seer and Title 24 requirements from the U. S. Department of Energy and the California Energy Commission for energy efficiency and environmental requirements.

Electrical Components

Components and Conditions Needing Service

- ✓ There is improper electrical wiring noted in the hvac-furnace closet that is recommended to be corrected. (romex wire improperly installed into the garage closet HVAC 120 volt electric outlet, recommend corrections by an electrical specialist and a cover plate installed.)



Living

Our inspection of the structures inside space includes the visually accessible areas of walls, floors, cabinets and closets, and includes the testing of a representative number of windows and doors, switches and outlets. However, we do not evaluate window treatments, or move furniture, lift carpets or rugs, empty closets or cabinets, and we do not comment on cosmetic deficiencies. We may comment on the cracks that appear around windows and doors, or which follow the lines of framing members and the seams of drywall and plasterboard. These cracks are a consequence of movement, such as wood shrinkage, common settling, and seismic activity, and will often reappear after repairs are made. Such cracks can become the subject of disputes, and are best evaluated by a specialist for repairs. Similarly, there are a number of environmental pollutants that we have already discussed, the identification of which is beyond the scope of our service. However, there are a host of lesser contaminants, such as odors that are typically caused by moisture penetrating concealed slabs. And inasmuch as the sensitivity to such odors is not uniform, we recommend that you make this determination for yourself, and particularly if domestic pets have occupied the premises, and then schedule whatever remedial service that may be deemed necessary before the close of escrow.

Entry

Front Door

Informational Conditions

- The front door did not appear to have any unusual damage and had a locking/latching system on the door. No evidence of moisture intrusion was found around the inside of the door system around the walls or floor.
- The door bell was working.

Components and Conditions Needing Service

- Door stops on some of the doors in the home are missing or damaged and are recommended to be installed to prevent possible wall damage behind the doors.

Floor

Informational Conditions

- The floor is tiled and has no significant defects.

Walls and Ceiling

Informational Conditions

- The walls and ceiling are in acceptable condition, no stains or moisture intrusion noted around the inside of the door.
- Fresh paint in the home.

Lights

Functional Components and Conditions

- The lights are functional.

Living

Floor

Informational Conditions

- The floor is carpeted and has no significant defects.

Walls and Ceiling

Informational Conditions

- The walls and ceiling did not appear to have any unusual cracks, stains or damage, hairline cracks less than 1/8" are typical and are usually the result of seismic activity or some movement in the structure and when found are recommended to be sealed and patched.

Dual-Glazed Windows

Informational Conditions

- The windows were operating normally with no apparent evidence of leaking found. Recommend normal maintenance, cleaning the tracks, sealing bottom corners to help prevent moisture intrusion, lubricating

operators, servicing the locks to operate easily.

Lights

Functional Components and Conditions

- The lights are functional.

Outlets

Functional Components and Conditions

- The sample of electric outlets that were tested are functional.

Dining

Floor

Informational Conditions

- The floor is carpeted and has no significant defects.

Walls and Ceiling

Informational Conditions

- The walls and ceiling did not appear to have any unusual cracks, moisture stains or damage, hairline cracks less than 1/8" are typical and are usually the result of seismic activity or some movement in the structure, not considered structurally threatening and when found are recommended to be sealed and patched.

Dual-Glazed Windows

Informational Conditions

- The dual-glazed window is operating normally with no apparent evidence of leaking found. Recommend normal maintenance, cleaning the tracks, sealing bottom corners, lubricating operators, servicing the locks to operate easily.

Lights

Informational Conditions

- The lights are functional.

Outlets

Functional Components and Conditions

- The sample of electric outlets that were tested are functional.

Bar Sink

Functional Components and Conditions

- The bar sink is functional.

Family

Family Room Location

Informational Conditions

- The family room is located back right downstairs area.

Doors

Informational Conditions

- The exterior patio door is functional and is recommended to have normal maintenance, tracks cleaned with corners sealed and rollers lubricated on a regular basis. No evidence of moisture intrusion was found inside the door when tested with a moisture meter.

Floor

Informational Conditions

- The floor is tiled and has no significant defects.

Walls and Ceiling

Informational Conditions

- The walls and ceiling did not appear to have any unusual cracks, moisture stains or damage, hairline cracks less than 1/8" are typical and are usually the result of seismic activity or some movement in the structure,

not considered structurally threatening and when found are recommended to be sealed and patched.

Dual-Glazed Windows

Informational Conditions

- The dual-glazed windows in the family room were opening and closing. Recommend normal maintenance, regularly checking frames for evidence of moisture intrusion, cleaning operating window tracks and sealing bottom frame corners. No evidence of moisture intrusion on windows that were accessed.

Lights

Functional Components and Conditions

- The lights are functional.

Components and Conditions Needing Service

- The fan-light has does not have the remote to control the ceiling fan and the light would not turn off.

Outlets

Functional Components and Conditions

- The outlets that were tested are functional.

Kitchen

Our evaluation of the common space, which includes the kitchen, hallway, stairs, laundry, and parking structures, is similar to that of the space inside the structure, and includes the visually accessible areas of walls, floors, cabinets and closets, without removing storage or furniture and the testing of a representative number of windows and doors, switches and outlets. We pay particular attention to safety standards, such as those involving electricity and the integrity of firewalls, but we do not test portable appliances, washer\dryers, refrigerators, built in vacuum systems, water filter systems\instant hot water units, including the supply and waste components of washing machines.

Kitchen

General Kitchen Comments

Informational Conditions

- We test kitchen appliances for their functionality, and cannot evaluate them for their performance nor for the variety of their settings or cycles. However, if they are older than ten years, they may well exhibit decreased efficiency. Regardless, we do not inspect the following items: refrigerators, built-in toasters, coffee-makers, can-openers, blenders, instant hot-water dispensers, water-purifiers, barbecues, grills, or rotisseries, timers, clocks, thermostats, the self-cleaning capacity of ovens, and concealed or countertop lighting, which is convenient but often installed after the initial construction and powered by extension cords or ungrounded conduits that may not be acceptable installation.

Floor

Informational Conditions

- The floor in the kitchen is tiled and has no significant defects.

Walls and Ceiling

Functional Components and Conditions

- The walls and ceiling did not appear to have any unusual cracks, stains or damage, hairline cracks less than 1\8" are typical and are usually the result of seismic activity or some movement in the structure and when found are recommended to be sealed and patched.

Dual-Glazed Windows

Informational Conditions

- The dual-glazed window is operating normally with no apparent evidence of leaking found. Recommend normal maintenance, cleaning the tracks, sealing bottom corners, lubricating operators, servicing the locks to operate easily.

- Garden window at kitchen did not have any broken glass, however, due to the sloped glass section are prone for leaking, no leak damage noted, recommend monitoring caulk seal at window and frame to the structure and insuring no leaking.

Cabinets

Informational Conditions

- The kitchen cabinets are functional, and do not have any significant damage. Recommend normal maintenance adjustments at the doors and drawers.
- Ceiling and upper wall hung cabinets are recommended to be further investigated as a matter of course for proper anchoring and support in kitchens and the rest of the building to include any garage or storage cabinets, especially since we are located in an area known to have seismic activity, this is especially true when heavier storage is planned in those cabinets. Recommend that heavier storage be put in lower cabinets supported by the floor structures.

Sink

Informational Conditions

- The kitchen sink did not appear to have any unusual defects other than normal wear.

Faucet

Informational Conditions

- The kitchen sink faucet did not appear to have any leaks or unusual damage.

Garbage Disposal

Informational Conditions

- The garbage disposal blades are rotating and appeared to be draining properly.

Gas Cook Top

Informational Conditions

- The gas cook top down draft vent was functioning when tested.

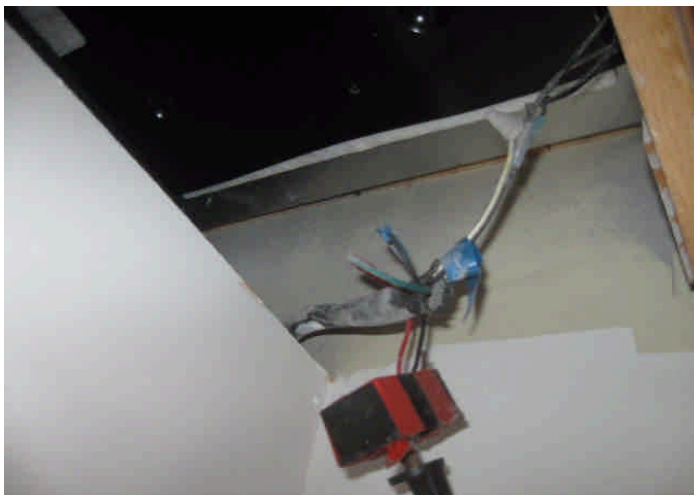
Components and Conditions Needing Service

- The gas was turned off to the home and the gas stove top could not be tested and is recommended to be verified as working when the gas is on.

Exhaust Fan or Downdraft

Components and Conditions Needing Service

- ✓ The kitchen exhaust fan responded to the controls. However, the control switch under the cabinet has been improperly installed with electrical connections outside of an electrical junction box. Recommend corrections by an electrical specialist.



Dishwasher

Informational Conditions

- The dishwasher's spray bar was rotating, water appeared to be heating and dishwasher running through the cycles, no evidence of leaking was noted around the dishwasher or drain lines at time of the inspection.

Lights

Functional Components and Conditions

- The lights in the kitchen are functional.

Outlets

Components and Conditions Needing Service

- ✓ A GFCI electric outlet in the kitchen in one of the counter top wall receptacles does not trip when tested and is not functioning properly, recommend replacement by an electrical specialist.

Trash Compactor

Informational Conditions

- Trash compactor responded to controls and appeared to cycle through a compression cycle. Compaction/compression cannot be verified without trash in the compactor.

Electric oven

Informational Conditions

- Two electric ovens, top one is a convection oven and both responded to the controls with the elements heating and the convection fan was turning. However, the ovens were not tested for heating calibration.

Hallway

Hallway

Smoke detector

Components and Conditions Needing Service

- Carbon monoxide detectors and fire extinguishers are recommended to be installed even though the local housing authority jurisdiction may not require them.

Smoke Detectors

Informational Conditions

- Smoke detectors\alarms are recommend to be upgraded to current requirements, recommend verifying what the local Fire marshal requires for this particular property. Most Fire Marshals now require smoke detectors in each bedroom, each hallway in front of bedrooms, and one at each floor irregardless of the age of the building. Smoke detectors are required to be installed per the manufacturer's directions. Most smoke detectors have a life of around ten years and the small radioactive contact that causes the smoke detector to detect smoke usually becomes defective and may not detect smoke regardless of whether the test button is working. When there are hard wired smoke detectors in place without a battery back up system, it is recommended at least one battery operated smoke detector be installed in the hallway to insure protection when the power is off. This should be done before close of escrow to verify correct function and installation of the smoke detectors.
- Smoke detectors\alarms are present and responded to the test buttons in the hallways.

Lights

Functional Components and Conditions

- The lights in the hallway are functional.

Stairs

Interior stairs

Stair case balusters

Informational Conditions

- Staircase rail balusters are spaced over the now required 4 inch spacing and are recommended to be upgraded to protect small children from possibly slipping through the balusters. This 6" or under spacing was proper when the home was built and is not a required upgrade, however, if small children are in the home these should be protected or upgraded.

Lights

Functional Components and Conditions

- The lights in the area of the stairs and landing are functional.

Bedrooms

In accordance with state or industry standards, our inspection of bedrooms includes the visually accessible areas of walls, floors, cabinets and closets, and includes the testing of a representative number of windows and doors, switches and outlets. We evaluate windows to ensure that they meet light and ventilation requirements and facilitate an emergency exit or egress, but we do not evaluate window treatments, nor move furniture, lift carpets or rugs, empty closets or cabinets, and we do not comment on cosmetic deficiencies.

Master Bedroom

Location

Informational Conditions

- The master bedroom is located at the back upstairs of the home.

Floor

Informational Conditions

- The bedroom floor is carpeted and has no significant defects.

Walls & Ceiling

Informational Conditions

- The visible walls and ceiling did not appear to have any unusual cracks, moisture stains or damage, hairline cracks less than 1/8" are typical and are usually the result of seismic activity or some movement in the structure, not considered structurally threatening and when found are recommended to be sealed and patched.

Dual-Glazed Windows

Informational Conditions

- The dual pane windows were operating normally with no apparent evidence of leaking found and were of size and location to meet current egress requirements. Recommend normal maintenance, cleaning the tracks, sealing bottom corners, lubricating operators, servicing the locks to operate easily.

Closets

Functional Components and Conditions

- The bedroom closet and its components are functional. Recommend normal maintenance, cleaning tracks and lubricating the rollers.

Lights

Components and Conditions Needing Service

- Ceiling fan-light in place, however, no remote to test the unit.

Outlets

Informational Conditions

- The sample of bedroom electrical outlets tested were found to be functional.

Smoke Detectors

Components and Conditions Needing Service

- ✓ Smoke detector/alarm was missing should be properly installed before close of escrow, even though they may not have been required when the structure were built.

Bedroom 2

Location

Informational Conditions

- The second bedroom is located at the upstairs front right area.

Doors

Functional Components and Conditions

- The bedroom door is functional.

Floor

Informational Conditions

- The bedroom floor is carpeted and has no visible significant defects.

Dual-Glazed Windows

Informational Conditions

- The dual-glazed bedroom window is functional and meets current egress requirements. Recommend normal maintenance, cleaning sealing the tracks and lubricating the hardware to keep the window operating easily.

Closets

Informational Conditions

- The bedroom closet and its components are functional.

Outlets

Functional Components and Conditions

- The sample of bedroom electrical outlets tested were found to be functional.

Smoke Detectors

Components and Conditions Needing Service

- ✓ There is no smoke detector\alarm in the bedroom, recommend one be installed, this should be verified before the close of escrow.

Bedroom 3

Location

Informational Conditions

- The third bedroom is located upstairs front left area.

Doors

Functional Components and Conditions

- The bedroom door is functional.

Floor

Informational Conditions

- The bedroom floor is carpeted and has no significant defects.

Dual-Glazed Windows

Informational Conditions

- The dual-glazed bedroom window is functional and meets current egress requirements. Recommend normal maintenance, cleaning sealing the tracks and lubricating the hardware to keep the window operating easily.

Closets

Functional Components and Conditions

- The bedroom closet and its components are functional.

Lights

Components and Conditions Needing Service

- The ceiling fan-light in place, however, not tested, remote was not available.

Outlets

Functional Components and Conditions

- The sample of bedroom outlets that were tested are functional.

Smoke Detectors

Components and Conditions Needing Service

- √ There is no smoke detector\alarm in the bedroom, recommend one be installed in each bedroom in compliance with manufacturers and local recommendations, this should be verified before the close of escrow.

Bedroom 4

Location

Informational Conditions

- The fourth bedroom is located downstairs front right area.

Doors

Functional Components and Conditions

- The bedroom doors are functional.

Floor

Informational Conditions

- The bedroom floor is carpeted and has no significant defects.

Dual-Glazed Windows

Informational Conditions

- The dual-glazed bedroom window is functional and meets current egress requirements. Recommend normal maintenance, cleaning sealing the tracks and lubricating the hardware to keep the window operating easily.

Closets

Informational Conditions

- The bedroom closet and its components had no unusual damage.

Lights

Components and Conditions Needing Service

- A ceiling fan-light in place, however, not tested, remote not available.

Outlets

Functional Components and Conditions

- The sample of electric outlets tested are functional.

Smoke Detectors

Components and Conditions Needing Service

- √ There is no smoke detector\alarm in the bedroom, recommend on be installed and verified before the close of escrow.

Bedroom 5

Location

Informational Conditions

- The fifth bedroom is located upstairs right mid area and has a bathroom attached.

Doors

Functional Components and Conditions

- The bedroom doors are functional.

Dual-Glazed Windows

Functional Components and Conditions

- The dual-glazed bedroom window is functional and meets current egress requirements. Recommend normal maintenance, cleaning tracks a lubricating to insure locks and rollers are easily operated.

Closets

Functional Components and Conditions

- The bedroom closet and its components are functional.

Outlets

Functional Components and Conditions

- The bedroom outlets that were able to be tested are functional.

Smoke Detectors

Components and Conditions Needing Service

- ✓ There is no smoke detector in the bedroom, recommend one be installed per local and State ordinances before the close of escrow.

Bathrooms

Our evaluation of bathrooms conforms to state or industry standards. We do not comment on cosmetic deficiencies, and we do not evaluate window treatments, steam showers and saunas, nor do we leak-test shower pans, which is the responsibility of the termite inspector. However, because of the possibility of water damage, most termite inspectors will not leak-test second floor shower pans without the written consent of the owners. When homes are occupied it is typical for there to be heavy storage under the sink cabinets, the inspector does not move the storage and the visible areas of the cabinet floor, drains and pipes, recommend that you also check these again on the final walk through before the close of escrow when the home is vacant and storage has been removed. The water supply angle stop valves under sinks and toilet are not tested by the inspector for function, the older gate type valves tend to leak when turned and are recommended to be upgraded to the quarter turn ball valves. Over flow drains for the tubs and sinks are not tested by the inspector with the tubs or sinks filled and are recommended to be installed if not in place or carefully fill tested regularly. Bathrooms are subject to water damage around sinks, toilets and tub/showers on a daily basis and should be carefully monitored for any seal failures or leaks on a daily basis. When leaking is found it is recommended to be immediately repaired for leaking and any moisture damage to prevent possible extended damage and moisture problems.

Master Bathroom

Size and Location

Informational Conditions

- The master bathroom is a full.

Toilet

Informational Conditions

- A low flush water saver 1.6 gallon toilet is in place.

Components and Conditions Needing Service

- The toilet is blocked, or does not flush adequately, which could indicate a more serious blockage in the main waste line, which should be serviced service as soon as possible.

Exhaust Fan

Informational Conditions

- The bathroom exhaust fan is working without any unusual noise or vibrations.

Outlets

Informational Conditions

- The bathroom electric outlets are functional and include ground-fault protection.

Doors

Functional Components and Conditions

- The bathroom door is functional.

Floor

Informational Conditions

- The bathroom floor is tiled and has no significant defects.

Walls & Ceiling

Informational Conditions

- The walls and ceiling did not have any unusual damage or deterioration. The walls next to the shower were tested with a moisture meter and no unusual moisture readings or damage were found at the time of the

inspection.

Dual-Glazed Windows

Informational Conditions

- The windows were operating normally with no apparent evidence of leaking found. Recommend normal maintenance, cleaning the tracks, sealing bottom corners, lubricating operators, servicing the locks to operate easily.

Sink Faucet Valves & Connectors Trap & Drain

Informational Conditions

- The bathroom sink and its components are delivering water and were draining with no apparent leaking or moisture damage at time of the inspection.

Tub

Informational Conditions

- The tub did not have any unusual damage other than normal wear dings and scratches. The tub was draining properly at time of the inspection.

Stall Shower

Functional Components and Conditions

- The stall shower did not have any apparent leaking, or unusual dings or damage and was draining properly.

Lights

Functional Components and Conditions

- The bathroom lights are functional.

Hallway Bathroom

Size and Location

Informational Conditions

- The downstairs hallway bathroom is a three-quarter.

Toilet

Informational Conditions

- The toilet is functional with no apparent leaks.
- Water saver 1.6 gallon flush toilet is in place.

Doors

Informational Conditions

- The bathroom door did not have any unusual damage and was latching.

Floor

Informational Conditions

- The bathroom floor is tiled and has no significant defects.

Outlets

Informational Conditions

- The bathroom outlets are functional and include ground-fault protection.

Exhaust Fan

Components and Conditions Needing Service

- The exhaust fan did not respond, and should be serviced.

Walls & Ceiling

Informational Conditions

- The walls and ceiling are in acceptable condition. Moisture meter tests were done on the walls next to the tub\shower and were found to be normal at time of the inspection.

Sink Faucet Valves & Connectors Trap & Drain

Informational Conditions

- The mechanical sink stopper will need to be adjusted to work well.

Stall Shower

Functional Components and Conditions

- The stall shower is functional with no unusual damage noted.

Lights

Functional Components and Conditions

- The bathroom lights are functional.

Jack and Jill Bathroom

Size and Location

Informational Conditions

- The shared bathroom is a three-quarter.

A Probable Remodel

Informational Conditions

- The shared bathroom appears to have been remodeled\modified. (tub\shower changed to shower)
Therefore, you should obtain documentation for your records so that you can be assured that the work was done with permit to professional standards, because we do not approve of, or tacitly endorse, any work that was done without permit, and latent defects could exist.

Doors

Functional Components and Conditions

- The bathroom door is functional.

Floor

Informational Conditions

- The bathroom floor is tiled and has no significant defects.

Walls & Ceiling

Informational Conditions

- The walls and ceiling are in acceptable condition. Moisture meter tests were done on the walls next to the tub\shower and were found to be normal at time of the inspection.

Dual-Glazed Windows

Functional Components and Conditions

- The dual-glazed window in the bathroom is functional.

Outlets

Functional Components and Conditions

- The bathroom outlets are functional and include ground-fault protection.

Exhaust Fan

Informational Conditions

- Recommend an exhaust fan be installed in a tub-shower bathroom even though a window maybe in place.

Sink Faucet Valves & Connectors Trap & Drain

Components and Conditions Needing Service

- The right bathroom sink drain is slow or partially blocked and should be serviced, to ensure that the blockage has not progressed beyond the trap and involved the main waste line.

Toilet

Functional Components and Conditions

- The toilet is functional.

Informational Conditions

- The toilet is a water saver type toilet with a 1.6 gallon flush cycle.

Stall Shower

Informational Conditions

- The stall shower did not appear to have any unusual damage, recommend normal maintenance, sealing around the wall fixtures and the shower door enclosure.

Lights

Functional Components and Conditions

- The bathroom lights are functional.

In Bedroom Bathroom 1

Size and Location

Informational Conditions

- The upstairs bedroom bathroom is a full bathroom.

Doors

Components and Conditions Needing Service

- The striker plate on the bathroom door needs to be adjusted to close and lock the door.

Floor

Informational Conditions

- The bathroom floor is tiled and has no significant defects.

Walls & Ceiling

Informational Conditions

- The walls and ceiling are in acceptable condition. Moisture meter tests were done on the walls next to the tub\shower and readings were found to be normal at time of the inspection.

Toilet

Functional Components and Conditions

- The toilet is functional.

Informational Conditions

- Toilet is the water saver type.

Outlets

Functional Components and Conditions

- The bathroom outlets are functional and include ground-fault protection.

Dual-Glazed Windows

Informational Conditions

- The window was operating normally with no apparent evidence of leaking found. Recommend normal maintenance, cleaning the tracks, sealing bottom corners, lubricating operators, servicing the locks to operate easily.

Sink Faucet Valves & Connectors Trap & Drain

Informational Conditions

- The bathroom sink and its components were producing water without any unusual damage or leaking found at time of the inspection.

Tub-Shower

Components and Conditions Needing Service

- The tub-shower faucet valve needs new stem washers and should be serviced. The faucet handle valve stem leaks when the faucet is on.

Exhaust Fan

Informational Conditions

- Recommend installing a vent fan in a bathroom with tub or shower even though a window has been installed, windows are not always opened and bathroom does not get proper ventilation.

Lights

Informational Conditions

- The bathroom lights were responding to the switch.

Laundry

Laundry

Laundry components

Informational Conditions

- Laundry is located in the service area in the room near the garage inside the home.
- The main laundry has grounded 120 electric outlet.
- Laundry has gas and 240 volt electrical outlets. The 240 volt outlet was not tested.

Components and Conditions Needing Service

- Recommend that a drain pan under the washing machine be installed to drain to an appropriate location that will help prevent possible moisture damage if the washing machine or hoses leak. The time to install a drain pan is before installing your washer and dryer.

General Laundry Room Comments

Informational Conditions

- In accordance with industry standards, we do not test clothes dryers, nor washing machines and their water connections and drainpipes. Washing machines and their hoses can leak or burst under pressure and continue to flow. Therefore, we recommend replacing old rubber hoses with modern braided stainless steel types that are much more dependable. You should also be aware that modern washing machines discharge a greater volume of water than many of the older drainpipes can handle, which causes the water to back up and overflow. The only remedy for this is to enlarge the drainpipe. We recommend a drain pan with a drain line to an appropriate exterior area be installed when not in place. Dryer vents should be installed to an appropriate exterior location with a proper flapper door at the exterior if not already in place. Plastic\vinyl flex dryer hoses should be replaced with flex foil type or metal type because of potential fire hazard.

Doors

Functional Components and Conditions

- The door, or doors, in the laundry room are functional.

Floor

Functional Components and Conditions

- The floor in the laundry room is tiled and has no significant defects.

Exhaust Fan

Functional Components and Conditions

- The exhaust fan in the laundry room is functional.

Dryer Vent

Informational Conditions

- The dryer vent is in place and vents to the exterior with a exterior self closing cap, however, the vent is not checked for debris and should be vacuumed or cleared before using the dryer to insure the vent pipe is clear.

Sink

Informational Conditions

- The sink did not have any apparent damage other than normal wear and appeared to be draining well when the faucet was run for some time.

Lights

Informational Conditions

- The lights in the laundry are responding to the switch.

Garage

Garage

General Garage Comments

Informational Conditions

- It is common for moisture to penetrate garages, because their slabs are on-grade. Evidence of this is typically apparent in the form of efflorescence, or salt crystal formations, that result when moisture penetrates the sidewalls or the slab. This is also quite common if a garage is below grade, and some sidewalls are even cored to relieve the pressure that can build up behind them, and which actually promotes

drainage through the garage. This is sometimes difficult to verify during the dry season or unless it is raining and should be watched for when garage storage is removed so that your storage items are protected when you place them. Also, if there is living space above the garage, it will be seismically vulnerable. Ideally, the columns and beams around the garage door will be made of structural steel, but in many residences these components are made of wood but could include some structural accessories, such as post-straps and hold-downs, and plywood shear paneling. Garage door openings are not necessarily standard, and you may wish to measure the opening to ensure that there is sufficient clearance to accommodate your vehicles. Garage door operator remotes are rarely available to the inspector during the inspection. Recommend getting door remote controls from seller a final walk through and have them demonstrated as functional.

Slab

Informational Conditions

- The visible portion of the garage slab was in acceptable condition. Small cracks are common and result as a consequence of the curing process, seismic activity, common settling, or the presence expansive soils, but do not appear to be structurally threatening. Also, you may notice some salt crystal formations that are activated by moisture penetrating the slab.

Walls and Ceiling

Informational Conditions

- The visible walls in the garage are sheathed with drywall and did not appear to have any unusual damage other than normal wear, nail holes and dings.

Firewall

Informational Conditions

- The visible firewall in the garage did not appear to have any holes or damage at the time of the inspection.

Entry Door Into the House

Informational Conditions

- The house entry door is solid core, or fire-rated, and self-closes in conformance with fire-safety regulations at the time the home was built. Homes around 20 years or older may have a solid core door 1 3/8" and newer homes will have a door with a fire rating tag or a 1 3/4" solid core door.

Garage Side Door

Informational Conditions

- The side door is functional with not unusual damage or deterioration.

Garage Door and Hardware

Informational Conditions

- Vehicle garage door operated when tested and did not appear to have any unusual damage. Recommend normal maintenance on hinges or rollers with lubrication and tightening of any loose bolts/nuts. Both 16' doors.

Automatic Opener

Informational Conditions

- The right garage door opener is auto reversing with the beam and down pressure safety devices.

Components and Conditions Needing Service

- The garage door auto operator is not adjusted properly or is mal functioning and auto reverses if the button is released, the button has to be held to get the door to close all the way, recommend adjusting beams or repairing operator unit.

Lights

Informational Conditions

- The light in the garage turned on and off with the switch.
- When the garage has unprotected ceiling florescent light bulbs, they are recommended to have protective plastic covers installed on the bulbs or light fixtures.

Electrical

Components and Conditions Needing Service

- ✓ The garage is now required to have GFCI protection, the electrical outlets were tested and none were GFCI protected. Recommend further evaluation and corrections/upgrades by an electrical specialist.
- ✓ Exposed or taped splices, no junction boxes in some of the wiring in the garage attic is recommended to be corrected.

Exposed or taped splices in some of the wiring in the garage is recommended to be corrected - *Continued*



Garage attic or cabinet storage

Informational Conditions

- Garage attic or cabinet storage areas are recommended to be further evaluated for proper support before heavy storage is put in place. Extra bracing and anchoring is recommended.

Sink in the Garage

Informational Conditions

- The filtration system under the garage sink is not part of the inspection, however, it was producing water and had no apparent leaks, recommend getting servicing information from the seller or the manufacturer.

Components and Conditions Needing Service

- The garage sink garbage disposal is seized and is recommended to be serviced.